

REVIEW PLAN



SITE NOTES:

- The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on these plans.
- Elevations are based on NAD83 Datum as determined from GPS solutions derived from the MDOOT VRS GNSS system. This solution was verified by an NGS FEMA GPS solution of an official control point and GPS fix to Missouri Geographic Reference System, Station 00-34 (MD J02862) as per ALTA by Fluoroma Geospatial Solutions, LLC dated March 30, 2020.
- Contractor shall verify elevation of temporary benchmarks based on the elevation of the primary benchmark, prior to the start of construction. Contractor shall notify engineer if elevations differ from those shown on these plans.
- Primary Benchmark - Chisled "1" on top corner concrete curb, SE of "Three Trees Lane" sign, 10' - Elevation: 617.83'
- This site is located within Zone "2", as per Federal Emergency Management Agency Flood Insurance Rate Map, Community Flood No. 2901003550 dated March 17, 2011.
- All trenches under paved areas shall be backfilled with granular material and compacted to meet compaction requirements for the parking lot. Granular material shall be placed and compacted to a level equal to the trench depth at the time of the utility installation.
- Contractor to contact telephone, electric, gas, and water companies to have underground utilities located on this site and adjacent to this site prior to doing any excavating.
- The contractor is responsible for keeping storm water run-off and sedimentation under control during construction.
- All survey monuments disturbed during construction shall be replaced by a survey licensed in the state, in which this project is located, at the contractor's expense.
- The sidewalk for this project shall meet or exceed applicable authorities having jurisdiction specifications, permit requirements, and manufacture specifications.
- The Contractor shall verify and/or perform all necessary inspections and/or certifications required by codes and/or utility companies prior to the proposed building construction and the final connections of utility services. All fees shall be paid by the Contractor.
- All dimensions are to the face of curb and roll are to the back of curb, unless otherwise shown.
- Contractor shall be responsible for all removals of and/or relocations, including but not limited to, utilities, storm drainage, signs, traffic signals and poles, etc as required. All work shall be done in accordance with governing authority specifications and shall be approved by such. All costs shall be included in base bid.
- Contractor shall obtain Engineer Retaining Wall Design for masonry block retaining walls that match the block color scheme of the building. Type of block shall be approved by the owner. Signed and sealed plans shall be provided to the owner for their records and files. Contractor shall obtain necessary approvals from AHJ for the retaining walls.
- All lighting, wall-mounted and freestanding shall be shielded and focused inward and downward to minimize light leaving the site.
- No part of this tract is located within a stream buffer as defined in the Stream Buffer Regulations, Chapter 26 of the Boone County, Missouri Zoning Regulations.

DESCRIPTION	LEGEND	
	PROPOSED	EXISTING
AERIAL ELECTRIC	—AE—	—AE—
UNDERGROUND ELECTRIC	—UE—	—UE—
UTILITY POLE	•	•
GAS LINE	—G—	—G—
GUARD POST	•	•
SWATERY SINK	—SS—	—SS—
SWATERY MANHOLE	•	•
STORM SINK	—SS—	—SS—
CATCH BASIN	•	•
JUNCTION BOX	•	•
FLARED END SECTION	—ED—	—ED—
CLEARCUT	•	•
GRAVED INLET	•	•
CHUNKLINE FENCE	—CF—	—CF—
WATERLINE	—W—	—W—
WATER VALVE	•	•
FIRE HYDRANT	•	•
EASEMENT	—E—	—E—

PAVEMENT LEGEND

	STANDARD DUTY CONCRETE PAVEMENT
	MEDIUM DUTY CONCRETE PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT

PLANNING AND ZONING CERTIFICATE:
 Approved by the Boone County Planning and Zoning Commission this ____ day of _____, 2020.

By: Ray Harris, Chairperson

COUNTY COMMISSION CERTIFICATE:
 Approved by the Boone County Commission this ____ day of _____, 2020.

By: Dan Atall, Presiding Commissioner

By: Brianna Lennon, County Clerk

COUNTY REVIEW ONLY

RICK G. ROHLFING
 NUMBER E-29409
 REGISTERED PROFESSIONAL ENGINEER

Rick G. Rohlfing
 Rick G. Rohlfing, P.E. #29409
 State of Missouri
 Registered Professional Engineer for BFA, Inc. Professional Engineering Corporation #000472

08/24/2020

bfaeng.com TELEPHONE: (636) 238-4751

BFA
 Engineering • Surveying

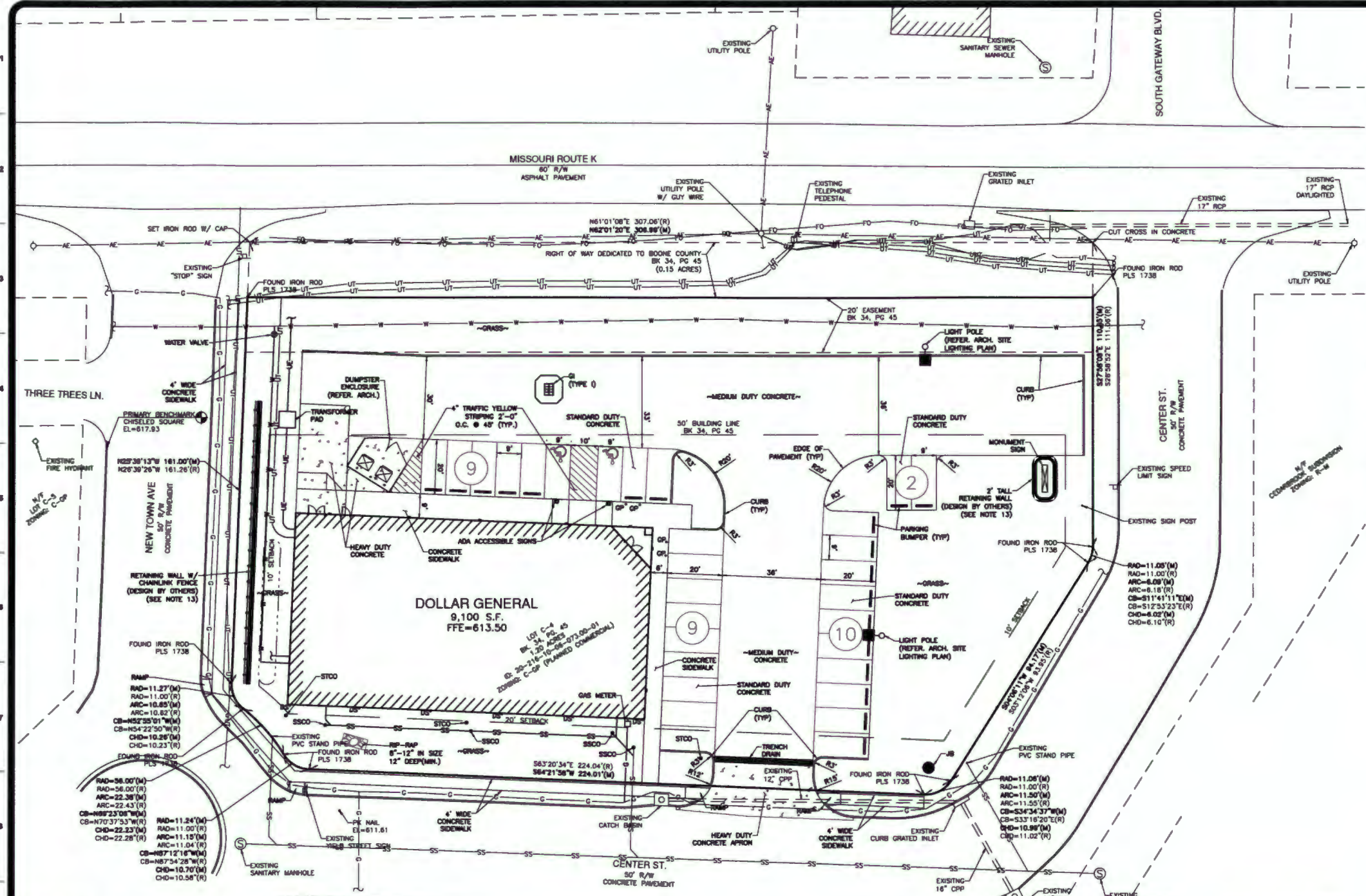
103 ELM STREET WASHINGTON, MISSOURI 63090

DOLLAR GENERAL
 New Town Avenue
 Columbia,
 Boone County, Missouri 65203

REVISIONS	
1	By: X.X.X. XI-XI-XX App: X.X.X.
2	By: X.X.X. XI-XI-XX App: X.X.X.
3	By: X.X.X. XI-XI-XX App: X.X.X.
4	By: X.X.X. XI-XI-XX App: X.X.X.

DRAWN: C.C.B.
 CHECKED: R.G.R.
 DATE: 06/24/2020
 SCALE: 1"=20'
 JOB NO.: 6023
 SHEET NAME: REVIEW PLAN

RV-1



DOLLAR GENERAL
 9,100 S.F.
 FFE=613.50

PARKING DATA

PROPOSED BUILDING: RETAIL	9,100 S.F.
COUNTY REQUIRED PARKING:	1 SPACE FOR EVERY 300 SQ. FT. GROSS FLOOR AREA
TOTAL REQUIRED:	30 SPACES
PROVIDED STANDARD SPACES:	28 SPACES
PROVIDED H.C. ACCESSIBLE SPACES:	2 SPACES
PROVIDED TOTAL PARKING:	30 SPACES



SITE DATA

ADDRESS: CENTER STREET
 COLUMBIA, MO 65203

LOT SIZE: 1.30 ACRES

PARCEL ID: 20-218-10-06-073-00-01

ZONING: C-GP (PLANNED COMMERCIAL)

ALLOWED USES: RETAIL SALES

OWNER: BRUCE AND KATHLEEN MAIER
 1407 GRAND AVENUE
 COLUMBIA, MO 65203

CONTRACT PURCHASER: DDCOLUMBIAM002052020, LLC
 1508 IMPERIAL CENTER, SUITE 2001
 WEST PLAINS, MO 65775

LEGAL: LOT C-4 OF NEW TOWN SUBDIVISION BLOCK FOUR IN BOONE COUNTY, MISSOURI, SHOWN BY THE PLAT THEREOF RECORDED IN PLAT BOOK 34, PAGE 44, RECORD OF BOONE COUNTY, MISSOURI.

STRUCTURE ABBREVIATION LEGEND

ABBREVIATION	DESCRIPTION
JB	JUNCTION BOX
STCO	STORM SEWER CLEARCUT
GI	GRAVED INLET
SSCO	SANITARY SEWER CLEARCUT

These working days prior to the start of any excavation on this site the Contractor shall contact 1-800-344-7483 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

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LANDSCAPE PLAN



LANDSCAPE NOTES:

- Contractor shall place a minimum of 18" of soil along all beds of curb, sidewalk, and concrete areas. Grassy areas that drain toward curbs, sidewalks and concrete areas shall have 10 feet of soil placed. All other disturbed areas shall be seeded, mulched, fertilized and maintained until a healthy stand of grass is obtained.
- The drawings for this project shall meet or exceed applicable authorities having jurisdiction specifications, permit requirements, and manufacturer specifications.
- The Contractor shall provide owner a two-year maintenance contract for all landscaping and the irrigation system.
- The planter areas shall have a weed barrier and be covered with a hardwood mulch of 4" to minimum depth. A steel edging shall be used on all landscaped areas within grass areas.
- The Contractor is specifically cautioned that the locations and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on plans.
- All unexcavated areas are to receive four inches of topsoil. Contractor to seed, mulch, fertilize, water, and maintain all areas outside of paved areas that were disturbed during construction until an acceptable stand of grass is established. Contractor shall be responsible to take whatever means necessary to establish permanent soil stabilization.
- Soil shall be well-rooted and be completely free from noxious weeds and reasonably free from other objectionable grasses, weeds, and stones. Seeding and sodding shall be done in accordance with this landscape plan.
- All plants must be healthy, vigorous material, free of pest and disease.
- All plants must be container grown or balled and burlapped as indicated in the plant list.
- All trees must be straight trunked and full headed and meet all requirements specified.
- All plants are subject to the approval of the owner before, during and after installation.
- Prior to construction, the Contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. The Contractor is responsible for repairing any and all damage to utilities, structures, etc. opportunities, etc which occur as a result of the landscape and irrigation construction.
- Contractor is responsible for verifying all quantities shown on these plans before pricing the work.
- All planter islands and planter areas shall be balled with a 3:1:1 slope and seeded to meet the seeding specifications, unless otherwise indicated on these plans.
- All landscape material must be provided by a local nursery or tree farm within a 100 radius of site.
- Contractor to adjust plantings accordingly, notify BFA and Owner of any major changes.
- Proposed plant material to be selected by the contractor and approved by the Owner prior to construction.
- Tree locations and planting bed to be located by the contractor and approved by the owner prior to installation.
- Planting shall not prohibit sight distance requirements.

PLANTING LEGEND				
SYMBOL	PLANT TYPE	EXAMPLES	PLANT SIZE	QUANTITY
	TREES	COMMON HACKBERRY, GREENSPICE LINDEN, HEDGE MAPLE, SAWTOOTH OAK, ETC.	2" CAL.	8
	SHRUBS	ALLEGHANY LEATHERLEAF, VIRGINIAN, ROSE CREEK ABELIA, NORTHERN BAYBERRY, ETC.	3 GALLON	17

NOTE: ALL QUANTITIES HAVE BEEN PROVIDED FOR CONFORMANCE ONLY. CONTRACTOR TO VERIFY ALL QUANTITIES.

SEED MIX AND/OR SOO
Seed: Provide fresh, clean, new crop seed complying with tolerance for purity and germination established by Official Seed Analysis of North America. Provide seed mixture composed of grass species, proportions and minimum percentages of purity, germination, and maximum percentage of weed seed as specified:
Sod: Provide strongly rooted sod (Turf-type Fescue Blend) not less than 2 years old, free of weeds, and undesirable native grasses, machine cut to pad thickness of 2" including top growth. Provide sod only of vigorous growth and development.
Fertilizer: Provide 12-12-12 fertilizer to all new lawn areas with not less than 1 lb. of actual nitrogen per 1000 sq. ft.
Topsoil: Provide 4" minimum layer of clean friable topsoil for all lawn areas as available on-site.
Grass Seed Mix—Application of 8 pounds per 1,000 sq. feet.
 75% Arid Tall Fescue, 87% germination, 85% purity
 25% Perennial Ryegrass, 87% germination, 85% purity
MULCH
Strawbed Bark Mulch: Hardwood bark mulch free of growth or germination-inhibiting ingredients. Apply granular pre-emergent weed control prior to spreading mulch. Mulch shall be at least 4 inches thick.
STRAW EROSION FABRIC
 For turf grass areas provide product comprised of wheat straw fiber, open weave, atch bonded with UV photodegradable polypropylene netting on two sides, able to withstand a 3 fpe minimum flow and mowing for slopes greater than 3:1. Provide S150 erosion blanket as manufactured by North American Grass or functional equivalent, 5401 St. Wendel-Cynthiana Road, Poseyville, IN 47633, Phone 1 (800) 772-2040. Bio-degradable erosion control fabric, or seed manufacturer's recommended product, shall be used on steeper slopes (over 10%) as recommended by seed manufacturer.

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-344-7483 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

COUNTY REVIEW ONLY

RICK G. ROHLFING
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF MISSOURI
 E-29409

Rick G. Rohlfing
 Rick G. Rohlfing, P.E. #29409
 State of Missouri
 Registered Professional Engineer for
 BFA, Inc. Professional Engineering Corporation #000472

06/24/2020

bfaeng.com TELEPHONE: (636) 238-4751

BFA
 Engineering-Surveying

103 ELM STREET WASHINGTON, MISSOURI 63080

REVISIONS	
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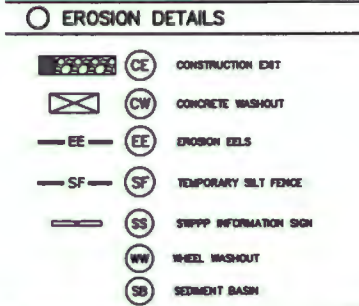
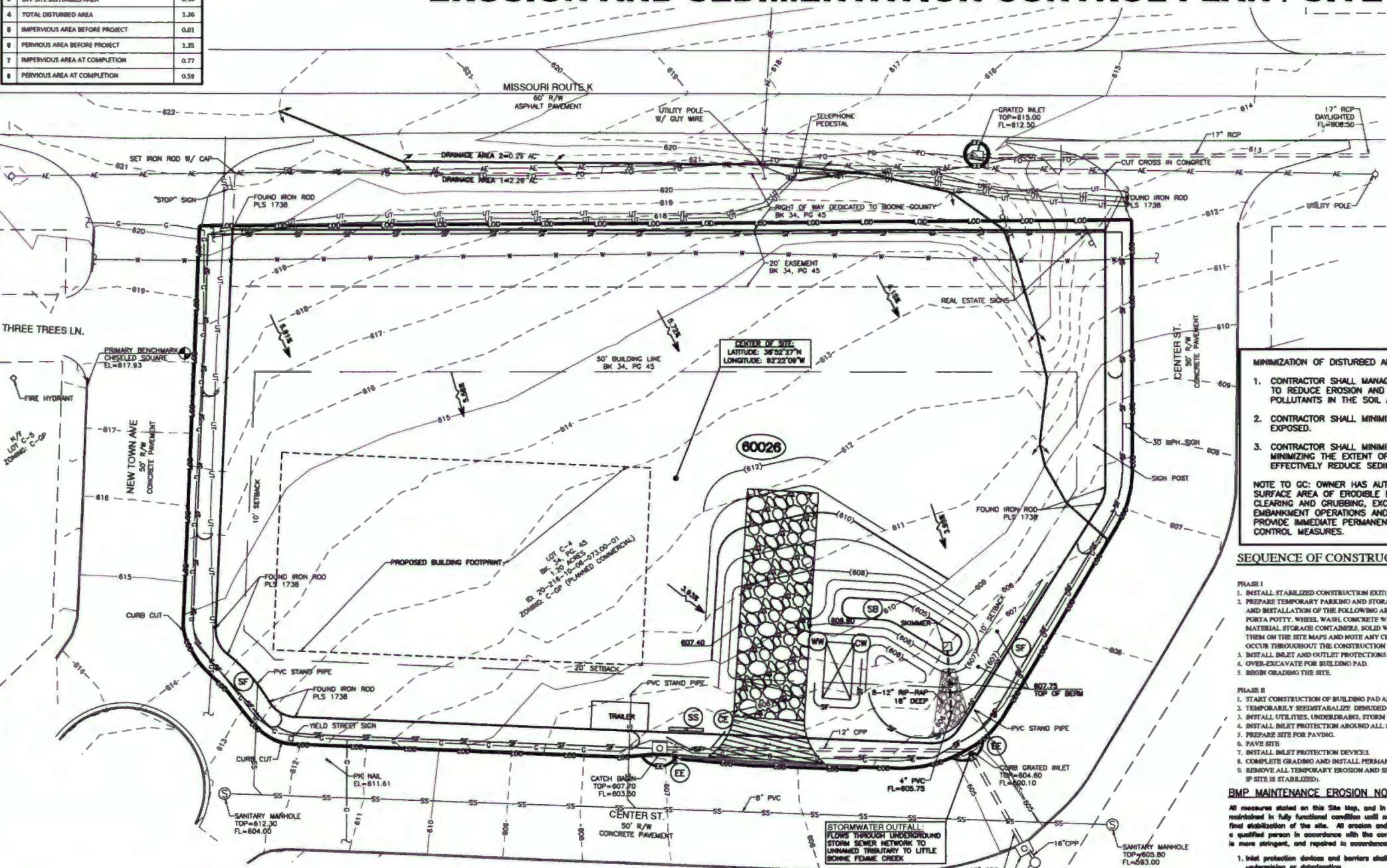
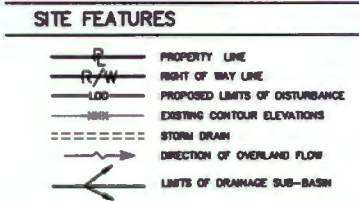
DRAWN C.C.B.
CHECKED R.G.R.
DATE 06/24/2020
SCALE 1"=40'
JOB No. 6023
SHEET NAME LANDSCAPE PLAN
L-1

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DOLLAR GENERAL
 New Town Avenue
 Columbia,
 Boone County, Missouri 65203

PHASE I EROSION AND SEDIMENTATION CONTROL PLAN / SITE MAP

ACREAGE SUMMARY (IN ACRES)	
1 SITE AREA	3.20
2 ON SITE DISTURBED AREA	3.20
3 OFF SITE DISTURBED AREA	0.16
4 TOTAL DISTURBED AREA	3.36
5 IMPERVIOUS AREA BEFORE PROJECT	0.01
6 PERVIOUS AREA BEFORE PROJECT	1.35
7 IMPERVIOUS AREA AT COMPLETION	0.77
8 PERVIOUS AREA AT COMPLETION	0.59



EROSION NOTES

60026 SOIL TYPE: MELLER SILT LOAM, 2-SI-SLOPE

BENCHMARK INFORMATION

PRIMARY BENCHMARK - CHISELED "O" ON TOP CORNER CONCRETE CURB, SE OF "THREE TREES LANE" SIGN, 10'-EL=617.93'

DEVELOPER:
DGOCCOLUMBIAMO02052020, LLC
1598 IMPERIAL CENTER, SUITE 2001
WEST PLAINS, MO 65775
(417) 256-8150

SITE OPERATOR/GENERAL CONTRACTOR:

SUPERINTENDENT:

NOTE:
IN THE EVENT THAT AN INSPECTOR OF THE U.S. E.P.A. OR A STATE OR LOCAL AGENCY SHOULD APPEAR AT THE PROJECT TO CONDUCT AN INSPECTION, THE CONTRACTOR SHALL IMMEDIATELY CONTACT BFA, INC. AT 636-239-4751 AND ADVISE THEM OF THE INSPECTION.

MINIMIZATION OF DISTURBED AREAS:

- CONTRACTOR SHALL MANAGE CONSTRUCTION ACTIVITIES TO REDUCE EROSION AND RETAIN SEDIMENT AND OTHER POLLUTANTS IN THE SOIL AT THE CONSTRUCTION SITE.
- CONTRACTOR SHALL MINIMIZE THE TIME BARE SOIL IS EXPOSED.
- CONTRACTOR SHALL MINIMIZE SITE DISTURBANCE BY MINIMIZING THE EXTENT OF GRADING AND CLEARING TO EFFECTIVELY REDUCE SEDIMENT YIELD.

NOTE TO GC: OWNER HAS AUTHORITY AT ANY TIME TO LIMIT SURFACE AREA OF ERODIBLE EARTH MATERIAL EXPOSED BY CLEARING AND GRUBBING, EXCAVATION, BORROW AND EMBANKMENT OPERATIONS AND TO DIRECT THE GC TO PROVIDE IMMEDIATE PERMANENT OR TEMPORARY POLLUTION CONTROL MEASURES.

SEQUENCE OF CONSTRUCTION

- PHASE I**
- INSTALL STABILIZED CONSTRUCTION EXIT(S) AND SWPPP INFORMATION SIGN.
 - PREPARE TEMPORARY PARKING AND STORAGE AREA. UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAYDOWN, PORTA POTTY, WHEEL WASH, CONCRETE WASHOUT, MASON'S AREA, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC. DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN THE LOCATIONS AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
 - INSTALL INLET AND OUTLET PROTECTIONS AND SILT FENCES(S) ON THE SITE.
 - OVER-EXCAVATE FOR BUILDING PAD.
 - BEGIN GRADING THE SITE.

- PHASE II**
- START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
 - TEMPORARILY SEED/STABILIZE DENUDED AREAS.
 - INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
 - INSTALL INLET PROTECTION AROUND ALL STORM SEWER STRUCTURES.
 - PREPARE SITE FOR PAVING.
 - PAVE SITE.
 - INSTALL INLET PROTECTION DEVICES.
 - COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTINGS.
 - REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED).

BMP MAINTENANCE EROSION NOTES:

- All measures stated on this Site Map, and in the Storm Water Pollution Prevention Plan, shall be maintained in fully functional condition until no longer required for a completed phase of work or final stabilization of the site. All erosion and sedimentation control measures shall be checked by a qualified person in accordance with the contract documents or the applicable permit, whichever is more stringent, and repaired in accordance with the following:
- Inlet protection devices and barriers shall be repaired or replaced if they show signs of undermining or deterioration.
 - All seeded areas shall be checked regularly to see that a good stand is maintained. Areas should be fertilized, watered, and reseeded as needed.
 - Silt fences shall be repaired to their original condition if damaged. Sediment shall be removed from the silt fence when it reaches one-half the height of the silt fence.
 - The construction exits shall be maintained in a condition which will prevent tracking or flow of mud onto public rights-of-way. This may require periodic top dressing of the construction exits as conditions demand.
 - The temporary parking and storage area shall be kept in good condition (suitable for parking and storage). This may require periodic top dressing of the temporary parking area as conditions demand.
 - Outlet structures in the sedimentation basins shall be maintained in operational condition at all times. Sediment shall be removed from sediment basins or traps when the design capacity has been reduced by 50%.
 - Prior to leaving the site, all vehicles shall be cleaned of debris. Any debris and/or sediment reaching the public street shall be cleaned immediately by a method other than flushing.

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-244-7483 for utility location information.

GENERAL EROSION & SEDIMENT CONTROL NOTES:

- Contractor shall implement best management practices as required by this storm water pollution prevention plan. Additional Best Management Practices shall be implemented as dictated by conditions at no additional cost of owner throughout all phases of construction.
- Best Management Practices (BMP's) and controls shall conform to federal, state, or local requirements or manual of practice, as applicable. Contractor shall implement additional controls as directed by permitting agency or owner.
- Site map must clearly delineate all state waters. Permits for any construction activity impacting state waters or regulated wetlands must be maintained on site at all times.
- Contractor to limit disturbance of site in strict accordance with erosion control sequencing shown on this plan, or required by the applicable general permit. No unnecessary or improperly sequenced clearing and/or grading shall be permitted.
- General contractor shall denote on plan the temporary parking and storage area which shall also be used as the equipment maintenance and cleaning area, employee parking area, and area for locating portable facilities, office trailers, and toilet facilities. Contractor shall construct temporary berm on downstream side.
- All wash water (concrete trucks, vehicle cleaning, equipment cleaning, etc.) shall be detained and properly treated or disposed.
- Sufficient oil and grease absorbing materials and flotation booms shall be maintained on site or readily available to contain and clean-up fuel or chemical spills and leaks.
- Just on the site shall be minimized. The use of motor oils and other petroleum based or toxic liquids for dust suppression operations is prohibited.
- Rubbish, trash, garbage, litter, or other such materials shall be deposited into sealed containers. Materials shall be prevented from leaving the premises through the action of wind or stormwater discharge into drainage ditches or waters of the state.
- All denuded/bare areas that will be inactive for 14 days or more, must be stabilized immediately upon completion of most recent grading activity with the use of fast-germination annual grass/grain varieties, straw/hay mat, wood cellulose fibers, tackifiers, netting or blankets.
- Disturbed portions of the site where construction activity has permanently stopped shall be permanently stabilized as shown on the plans. These areas shall be seeded, sodded, and/or vegetated immediately, and no later than 14 days after the last construction activity occurring in these areas. Refer to the grading plan and/or landscape plan.
- If the action of vehicles traveling over the paved construction entrance is not sufficient to prevent tracking of dirt, dust or mud, then the tires must be washed before the vehicles enter a public road. Provisions must be made to intercept the wash water and trap the sediment before it is carried off the site. Only use ingress/egress location as provided.

- All materials spilled, dropped, washed, or tracked from vehicles onto roadways or into storm drains must be removed immediately.
- Contractors or subcontractors will be responsible for removing sediment in the storm sewer drainage systems in conjunction with the stabilization of the site.
- On-site and off-site soil stockpiles and borrow areas shall be protected from erosion and sedimentation through implementation of Best Management Practices. Stockpile and borrow area locations shall be noted on the site map and permitted in accordance with general permit requirements.
- Stops shall be left in a roughened condition during the grading phase to reduce runoff velocities and erosion.
- Due to the grade changes during the development of the project, the contractor shall be responsible for adjusting the erosion and sediment control measures to prevent erosion and pollutant discharge.
- General contractor is to designate/identify areas on the site maps, inside of the limits of disturbance, for waste disposal and delivery and material storage.
- This tract is not located within the 100 year flood plain as per Federal Emergency Management Agency FIRI Map #2801003500 dated March 17, 2011.
- In order to terminate a state operating permit the Missouri Department of Natural Resources (MDNR) requires that the permittee submit a completed Form H (included with the approved permit) to the MDNR. A permit is eligible for termination when either personal vegetation, pavement, buildings, or structures using permanent materials cover all areas that have been disturbed. Vegetative cover shall be at least 70% of fully established plant density over 100% of the disturbed area. A copy of Form H should be submitted to the County at which time the County will remove the project from its inspection schedule.
- Land disturbance sites shall be inspected on a regular schedule and within a reasonable time period (not to exceed 48 hours) following heavy rains. Regularly scheduled inspections shall be at a minimum of once per week. Any deficiencies shall be noted in a weekly report of the inspection and correlated with seven calendar days of the report. Contractors are required to submit to City Inspection staff copies of their inspection reports required by the Stormwater Pollution Prevention Plan (SWPPP) on a monthly basis.

ES&S PLAN LEGEND

DESCRIPTION	SYMBOL
AERIAL ELECTRIC	AE
UNDERGROUND ELECTRIC	UE
UNDERGROUND TELEPHONE	UT
GIS LINE	C
FIBER OPTIC LINE	FO
WATERLINE	W
SANITARY SEWER	SS
STORM SEWER	====
EASEMENT	---
PROPERTY LINE	---
CONTOURS	---100---
UTILITY POLE	o
GUARD POST	JP
SANITARY MANHOLE	o
WATER VALVE	o
FIRE HYDRANT	o
CLEAROUT	o

DOLLAR GENERAL
New Town Avenue
Columbia,
Boone County, Missouri 65203

REVISIONS

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COUNTY REVIEW ONLY

Rick G. Rohlfing, P.E. #29409
State of Missouri
Registered Professional Engineer for
BFA, Inc. Professional Engineering Corporation #000472

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bfaeng.com TELEPHONE: (636) 238-4751

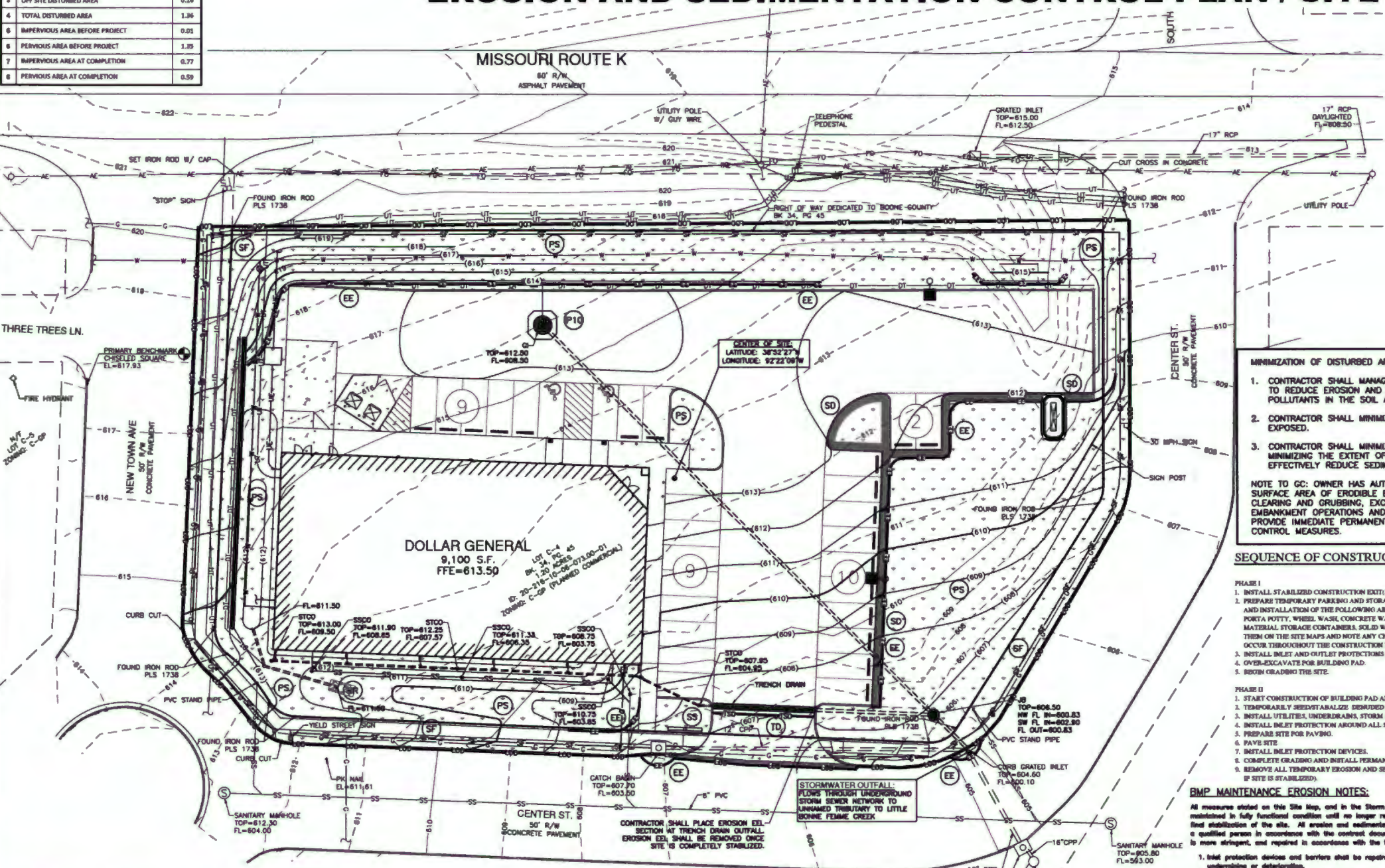
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DRAWN J.A.K.
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SCALE 1"=20'
JOB No. 6023
SHEET NAME PHASE I ESC PLAN
ESC-1

PHASE II EROSION AND SEDIMENTATION CONTROL PLAN / SITE MAP



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SITE FEATURES	
	PROPERTY LINE
	RIGHT OF WAY LINE
	PROPOSED LIMITS OF DISTURBANCE
	EXISTING CONTOUR ELEVATIONS
	PROPOSED CONTOUR ELEVATIONS
	STORM DRAIN

EROSION DETAILS	
	EROSION EELS
	TEMPORARY SILT FENCE
	TRIANGLE SILT DIKE
	SILT CATCH BASIN
	SILT TRAP
	FILTER SOCKS

EROSION NOTES	
	PERMANENT SEEDING/GRASS
	3/8\"/>

BENCHMARK INFORMATION
 PRIMARY BENCHMARK - CHISELED "O" ON TOP CORNER CONCRETE CURB, SE OF "THREE TREES LANE" SIGN, 10'-EL=617.93'

DEVELOPER:
 DGOCCOLUMBIAMO02052020, LLC
 1588 IMPERIAL CENTER, SUITE 2001
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 - CONTRACTOR SHALL MINIMIZE THE TIME BARE SOIL IS EXPOSED.
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 - BEGIN GRADING THE SITE.
- PHASE II**
- START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
 - TEMPORARILY REESTABLISH DISTURBED AREAS.
 - INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
 - INSTALL INLET PROTECTION AROUND ALL STORM SEWER STRUCTURES.
 - PREPARE SITE FOR PAVING.
 - PAVE SITE.
 - INSTALL INLET PROTECTION DEVICES.
 - COMPLETE GRADING AND INITIAL PERMANENT SEEDING AND PLANTINGS.
 - REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED).

- BMP MAINTENANCE EROSION NOTES:**
- All measures stated on this Site Map, and in the Storm Water Pollution Prevention Plan, shall be maintained in fully functional condition until no longer required for a completed phase of work or final stabilization of the site. All erosion and sedimentation control measures shall be checked by a qualified person in accordance with the contract documents or the applicable permit, whichever is more stringent, and repaired in accordance with the following:
- Inlet protection devices and barriers shall be repaired or replaced if they show signs of undermining or deterioration.
 - All needed areas shall be checked regularly to see that a good stand is maintained. Areas should be fertilized, watered, and reseeded as needed.
 - Silt fences shall be repaired to their original condition if damaged. Sediment shall be removed from the silt fence when it reaches one-half the height of the silt fence.
 - The construction site shall be maintained in a condition which will prevent tracking or flow of mud onto public rights-of-way. This may require periodic top dressing of the construction site as conditions demand.
 - The temporary parking and storage area shall be kept in good condition (suitable for parking and storage). This may require periodic top dressing of the temporary parking area as conditions demand.
 - Outlet structures in the sedimentation basins shall be maintained in operational condition at all times. Sediment shall be removed from sediment basins or traps when the design capacity has been reached by 50%.
 - Prior to leaving the site, all vehicles shall be cleaned of debris. Any debris and/or sediment reaching the public street shall be cleaned immediately by a method other than flushing.

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-344-7483 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

- GENERAL EROSION & SEDIMENT CONTROL NOTES:**
- Contractor shall implement best management practices as required by this storm water pollution prevention plan. Additional Best Management Practices shall be implemented as dictated by conditions of no additional cost of owner throughout all phases of construction.
 - Best Management Practices (BMP's) and controls shall conform to federal, state, or local requirements or manual of practice, as applicable. Contractor shall implement additional controls as directed by permitting agency or owner.
 - Site map must clearly delineate all state waters. Permits for any construction activity impacting state waters or regulated waters must be maintained on site at all times.
 - Contractor to limit disturbance of site in strict accordance with erosion control sequencing shown on this plan, or required by the applicable general permit. No unnecessary or temporary exposed clearing and/or grading shall be permitted.
 - General contractor shall denote on plan the temporary parking and storage area which shall also be used as the equipment maintenance and cleaning area, employee parking area, and area for locating portable facilities, office trailers, and toilet facilities. Contractor shall construct temporary berm on downstream side.
 - All wash water (concrete trucks, vehicle cleaning, equipment cleaning, etc.) shall be detained and properly treated or disposed.
 - Sufficient oil and grease absorbing materials and flotation booms shall be maintained on site or readily available to contain and clean-up fuel or chemical spills and leaks.
 - Dust on the site shall be minimized. The use of motor oils and other petroleum based or toxic liquids for dust suppression operations is prohibited.
 - Rubbish, trash, garbage, litter, or other such materials shall be deposited into sealed containers. Materials shall be prevented from leaving the premises through the action of wind or stormwater discharge into drainage ditches or waters of the state.
 - All denuded/bare areas that will be inactive for 14 days or more, must be stabilized immediately upon completion of most recent grading activity with the use of fast-germination annual grass/grain varieties, straw/hay mulch, wood cellulose fibers, soilifiers, netting or blankets.
 - Disturbed portions of the site where construction activity has permanently stopped shall be permanently stabilized as shown on the plans. These areas shall be seeded, sodded, and/or vegetated immediately, and no later than 14 days after the last construction activity occurring in these areas. Refer to the grading plan and/or landscape plan.
 - If the action of vehicles traveling over the paved construction entrance is not sufficient to prevent tracking of dirt, dust or mud, then the tires must be washed before the vehicles enter a public road. Provisions must be made to intercept the wash water and trap the sediment before it is carried off the site. Only use ingress/egress location as provided.

- All materials spilled, dropped, washed, or tracked from vehicles onto roadways or into storm drains must be removed immediately.
- Contractors or subcontractors will be responsible for removing sediment in the storm sewer drainage systems in conjunction with the stabilization of the site.
- On-site and off-site soil stockpiles and borrow areas shall be protected from erosion and sedimentation through implementation of Best Management Practices. Stockpile and borrow area locations shall be noted on the site map and permitted in accordance with general permit requirements.
- Stops shall be left in a roughened condition during the grading phase to reduce runoff velocities and erosion.
- Due to the grade changes during the development of the project, the contractor shall be responsible for adjusting the erosion and sediment control measures to prevent erosion and sediment discharge.
- General contractor is to designate/divert areas on the site maps, inside of the limits of disturbance, for waste disposal and delivery and material storage.
- See traffic control and construction phasing plan for temporary fencing and temporary front drive location and sequencing.
- This trust is not located within the 100 year flood plain as per Federal Emergency Management Agency FIRM Map #2901C0325D dated March 17, 2011.
- In order to terminate a state operating permit the Missouri Department of Natural Resources (MDNR) requires that the permittee submit a completed Form #1 (included with the approved permit) to the MDNR. A permit is eligible for termination when either personal vegetation, pavement, buildings, or structures using permanent materials cover all area that have been disturbed. Vegetative cover shall be of least 70% of fully established plant density over 100% of the disturbed area. A copy of Form #1 should be submitted to the City at which time the City will remove the project from its inspection schedule.
- Land disturbance areas shall be inspected on a regular schedule and within a reasonable time period (not to exceed 48 hours) following heavy rains. Regularly scheduled inspections shall be at a minimum of once per week. Any deficiencies shall be noted in a weekly report of the inspection and corrected with seven calendar days of the report. Contractors are required to submit to City inspection staff copies of their inspection reports required by the Stormwater Pollution Prevention Plan (SWPPP) on a monthly basis.

STRUCTURE ABBREVIATION LEGEND	
JB	JUNCTION BOX
STCO	STORM SEWER CLEANOUT
GI	GRATED INLET
SSCO	SANITARY SEWER CLEANOUT

ESC PHASE II PLAN LEGEND		
DESCRIPTION	PROPOSED	EXISTING
AERIAL ELECTRIC	—AE—	—AE—
UNDERGROUND ELECTRIC	—UE—	—UE—
UTILITY POLE	○	○
ONS LINE	—	—
GUARD POST	■	■
SANITARY SEWER	—SS—	—SS—
SANITARY MANHOLE	●	●
STORM SEWER	—SSC—	—SSC—
CATCH BASIN	■	■
JUNCTION BOX	●	●
CLEAROUT	○	○
GRATED INLET	⊖	⊖
WATERLINE	—W—	—W—
WATER VALVE	○	○
FIRE HYDRANT	○	○
EMERGENCY	—E—	—E—
SOIL BORING	⊙	⊙

DOLLAR GENERAL
 New Town Avenue
 Columbia,
 Boone County, Missouri 65203

REVISIONS	
1	By: X.X.X XX-XX-XX App. X.X.X
2	By: X.X.X XX-XX-XX App. X.X.X
3	By: X.X.X XX-XX-XX App. X.X.X
4	By: X.X.X XX-XX-XX App. X.X.X

DRAWN	J.A.K.
CHECKED	R.G.R.
DATE	06/24/2020
SCALE	1"=20'
JOB No.	6023
SHEET NAME	PHASE II ESC PLAN
	ESC-2

COUNTY REVIEW ONLY

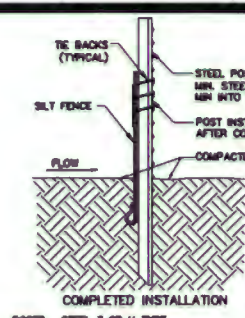
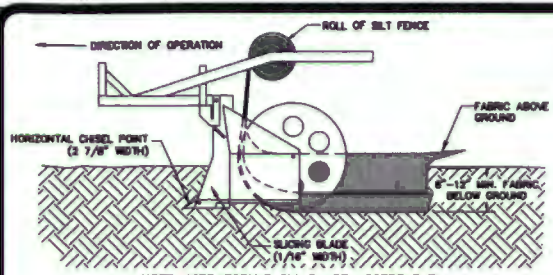
RICK G. ROHLFING
 NUMBER E-29408
 Registered Professional Engineer for
 BFA, Inc. Professional Engineering Corporation #00472

06/24/2020

BFA
 Engineering-Surveying

103 ELM STREET WASHINGTON, MISSOURI 63090

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- SPECIFICATIONS FOR STATIC SLOUGHING METHOD FOR SILT FENCE INSTALLATION**
- (STATIC SLOUGHING SHALL BE USED TO ANCHOR SILT FENCE FABRIC IN ORDER TO NOT USE THE WOVEN WIRE BACKING.)
- SILT FENCE SHALL BE PROVIDED AND INSTALLED PER ASTM D-4833-LATEST EDITION.
 - INSTALL SILT FENCE AT A FAIRLY LEVEL GRADE ALONG THE CONTOUR WITH THE ENDS CURVED UPHILL TO PROMOTE SUFFICIENT UPSTREAM STORAGE VOLUME FOR ANTICIPATED RUNOFF.
 - INSTALL POSTS AT A MAXIMUM OF 5'-0" APART.
 - INSTALL POSTS AT A MINIMUM DEPTH OF 30" ON THE DOWNSTREAM SIDE OF THE SILT FENCE, AND AS CLOSE AS POSSIBLE TO THE FABRIC, ENABLING POSTS TO SUPPORT UPSTREAM WATER PRESSURE ON THE FABRIC.
 - ATTACH THE FABRIC TO EACH POST WITH THREE TIES, ALL SPACED WITHIN THE TOP 6" OF THE FABRIC. ATTACH EACH TIE DIAGONALLY AS DEPICTED THROUGH THE FABRIC, WITH EACH PUNCTURE AT LEAST 1" VERTICALLY APART. ALSO, EACH TIE SHOULD BE POSITIONED TO HANG ON A POST HAPPLE WHEN TIGHTENED TO PREVENT SAGGING.
 - WRAP APPROXIMATELY 6" OF FABRIC AROUND THE END POSTS AND SECURE WITH 3 TIES.
 - WHEN NECESSARY TO CONTINUE FENCE, OVERLAP SILT FENCE FABRIC ACROSS TWO POSTS.
 - NO MORE THAN 24" OF A 36" FABRIC IS ALLOWED ABOVE GROUND LEVEL.
 - THE INSTALLATION SHOULD BE CHECKED AND CORRECTED FOR ANY DEVIATIONS BEFORE COMPACTION. USE A FLAT-BLADED SHOVEL TO TUCK FABRIC DEEPER INTO THE TRENCH IF NECESSARY.
 - COMPACT THE SOIL IMMEDIATELY NEXT TO THE SILT FENCE FABRIC WITH THE FRONT WHEEL OF THE TRACTOR, SHOULDER STEER, OR ROLLER EXERCISING AT LEAST 80 POUNDS PER SQ. INCH. COMPACT THE UPSTREAM SIDE FIRST, COMPACT EACH SIDE TWICE FOR A TOTAL OF FOUR TRIPS.
 - WHEN TWO SECTIONS OF SILT FENCE FABRIC ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED A MINIMUM OF 60" ACROSS TWO POSTS, AS SHOWN.
 - ADD POST CAPS AS NEEDED BASED ON SITE CONDITIONS AND APPLICABLE AGENCY REQUIREMENTS.

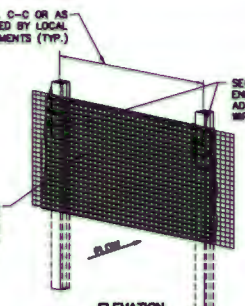


TABLE 1 TEMPORARY SILT FENCE MATERIAL PROPERTY REQUIREMENTS

Property	Test Method	Units	Supported Silt Fence	Unsupported Silt Fence	Type of Value
Grab Strength	ASTM D 4832	# (lb)	400 (100)	580 (100)	MAY V
			400 (90)	480 (90)	
Permeability ^a	ASTM D 6481	mm-1	0.05	0.05	MAY V
			0.05	0.05	
Apparent Opening Size ^b	ASTM D 4791	mm (US Sieve #)	0.80 (20)	0.80 (20)	Max. Allow ^c
Ultimate Strength	ASTM D 4385	% Retained Strength	70% after 800 h of exposure	70% after 800 h of exposure	Typical

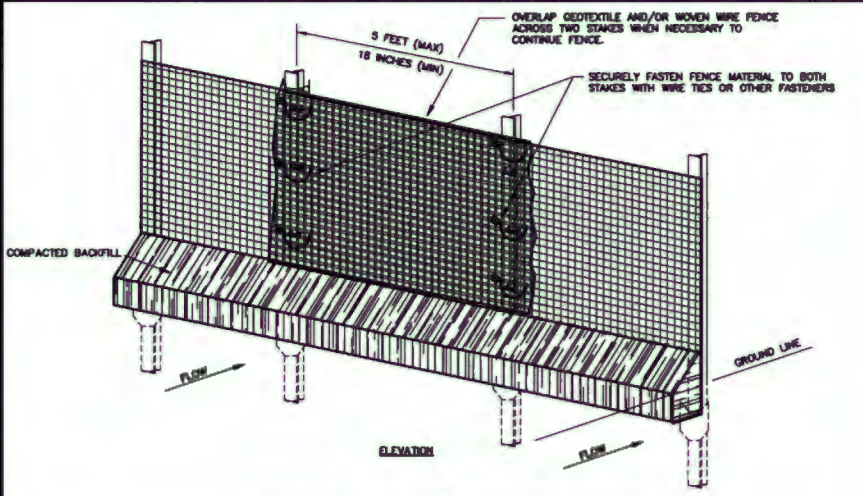
^a SILT FENCE SUPPORT SHALL CONSIST OF 14 GAGE STEEL WIRE WITH A MESH SPACING OF 150 MM (6 IN.) OR PREFABRICATED POLYMER MESH OF EQUIVALENT STRENGTH.

^b THESE DEFAULT VALUES ARE BASED ON EMPIRICAL EVIDENCE WITH A VARIETY OF SEDIMENTS, FOR ENVIRONMENTALLY SENSITIVE AREAS, A REVIEW OF PREVIOUS EXPERIENCE AND/OR SITE OR REGIONALLY SPECIFIC GEOTEXTILE TESTS IN ACCORDANCE WITH TEST METHOD D 5141 SHOULD BE PERFORMED BY THE AGENCY TO CONFIRM SUITABILITY OF THESE REQUIREMENTS.

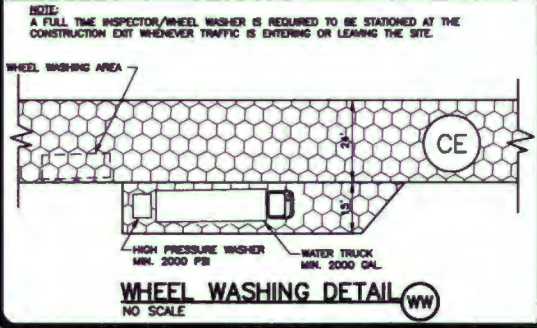
^c AS MEASURED IN ACCORDANCE WITH TEST METHOD D 4832.

TABLE 1 TAKEN FROM ASTM D 6481-18 (2022).

NON-WIRE BACKED SLICING METHOD FOR SILT FENCE INSTALLATION



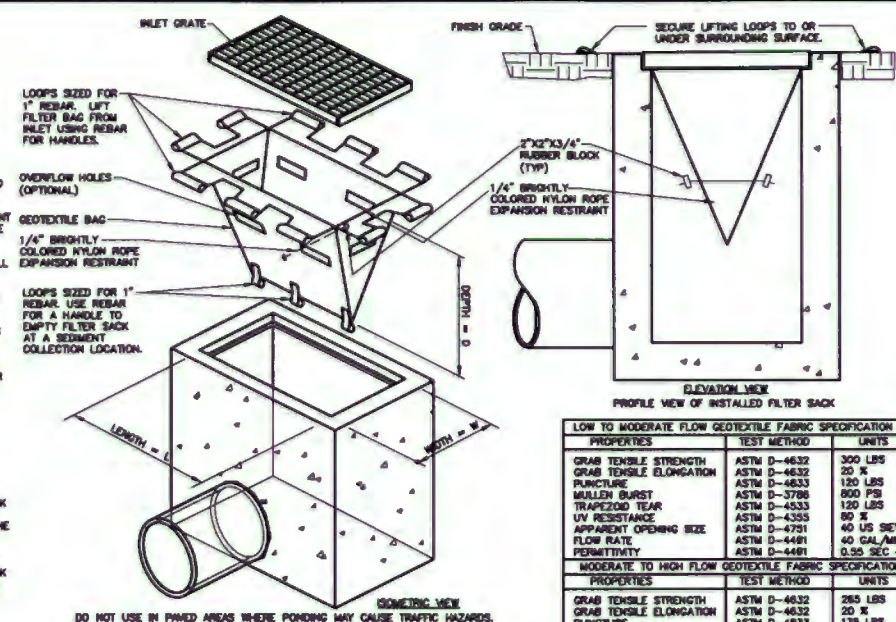
OVERLAP OF SILT FENCE DETAIL



WHEEL WASHING DETAIL

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-344-7483 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.



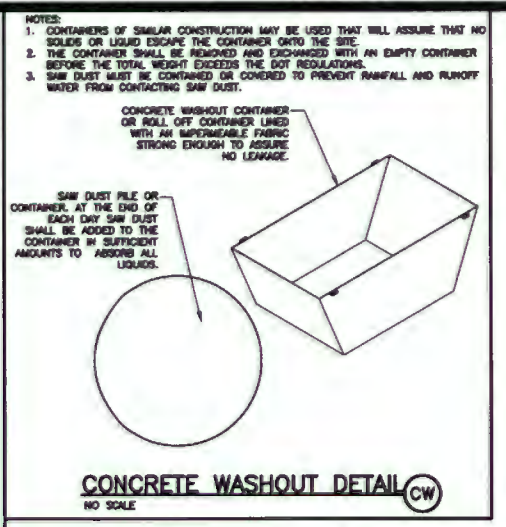
FILTER SACKS DETAIL (GRATED INLETS)

LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE

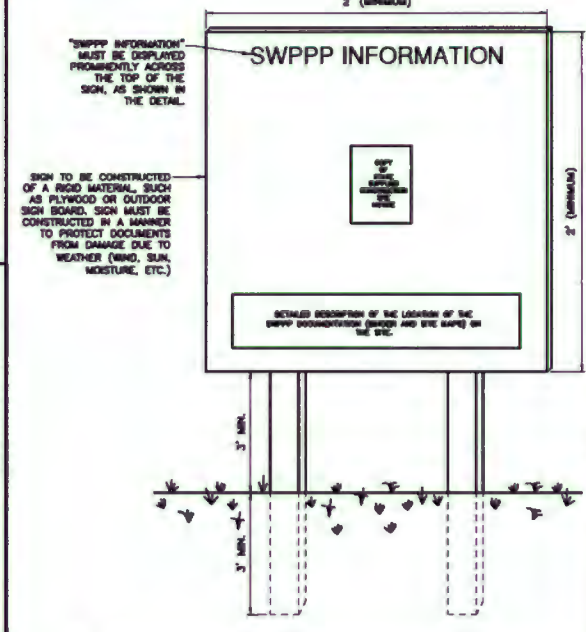
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4832	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4832	20 %
PUNCTURE	ASTM D-4833	120 LBS
MULLER BURST	ASTM D-3788	800 PSF
TRAPEZOID TEAR	ASTM D-4333	120 LBS
UV RESISTANCE	ASTM D-4325	80 %
APPARENT OPENING SIZE	ASTM D-4791	40 US SIEVE
FLOW RATE	ASTM D-4481	40 GAL/AM/50 FT PERMINUTY

MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4832	285 LBS
GRAB TENSILE ELONGATION	ASTM D-4832	20 %
PUNCTURE	ASTM D-4833	135 LBS
MULLER BURST	ASTM D-3788	490 PSF
TRAPEZOID TEAR	ASTM D-4333	45 LBS
UV RESISTANCE	ASTM D-4325	80 %
APPARENT OPENING SIZE	ASTM D-4791	20 US SIEVE
FLOW RATE	ASTM D-4481	200 GAL/AM/50 FT PERMINUTY

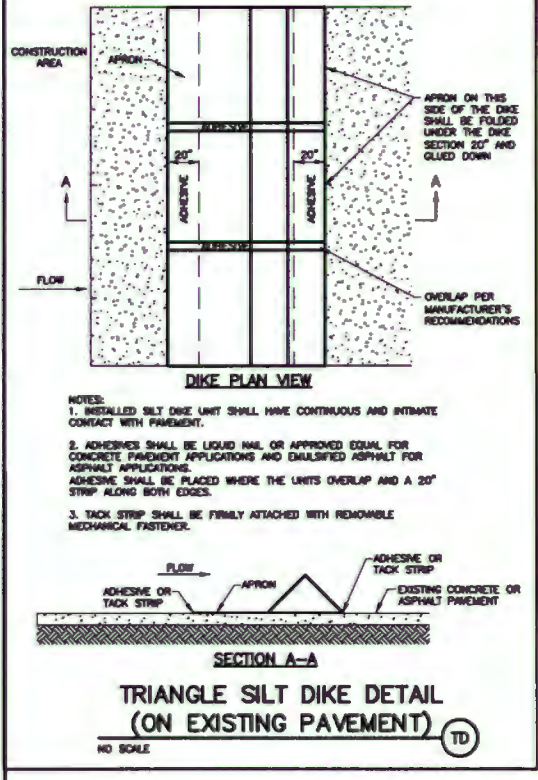


CONCRETE WASHOUT DETAIL



SWPPP INFORMATION SIGN

- NOTES:
- THE SWPPP INFORMATION SIGN MUST BE LOCATED NEAR THE CONSTRUCTION EXIT OF THE SITE, SUCH THAT IT IS ACCESSIBLE AND VIEWABLE BY THE GENERAL PUBLIC, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A SAFETY HAZARD.
 - ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE-OF-TERMINATION (NOT) IS FILED FOR THE PERMIT.
 - CONTRACTOR SHALL POST OTHER STORMWATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS OR THE SIGN AS REQUIRED BY THE GOVERNING AGENCY.
 - SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.
 - CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY OF THE SWPPP INFORMATION SIGN.



TRIANGLE SILT DIKE DETAIL (ON EXISTING PAVEMENT)

- NOTES:
- INSTALLED SILT DIKE UNIT SHALL HAVE CONTINUOUS AND INTIMATE CONTACT WITH PAVEMENT.
 - ADHESIVES SHALL BE LIQUID NAIL OR APPROVED EQUAL FOR CONCRETE PAVEMENT APPLICATIONS AND QUALIFIED ASPHALT FOR ASPHALT APPLICATIONS. ADHESIVE SHALL BE PLACED WHERE THE UNITS OVERLAP AND A 20" STRIP ALONG BOTH EDGES.
 - TACK STRIP SHALL BE FIRMLY ATTACHED WITH REMOVABLE MECHANICAL FASTENER.

DOLLAR GENERAL
New Town Avenue
Columbia,
Boone County, Missouri 65203

REVISIONS

NO.	DATE	BY	APP.
1			
2			
3			
4			

DRAWN J.A.K.
CHECKED R.G.R.
DATE 06/24/2020
SCALE AS NOTED
JOB NO. 6023
SHEET NAME ESC DETAIL SHEET

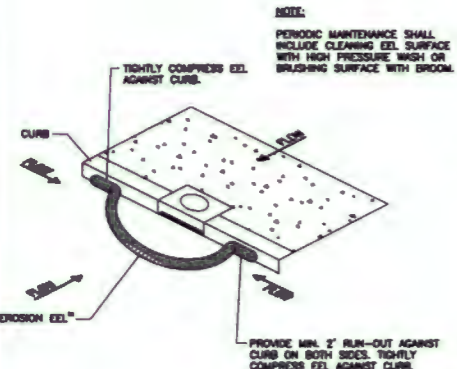
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COUNTY REVIEW ONLY

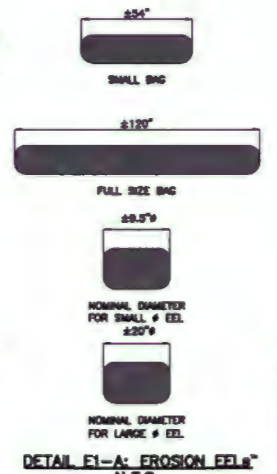
STATE OF MISSOURI
REGISTERED PROFESSIONAL ENGINEER
RICK G. RAHFFING, P.E. #2240
06/24/2020
Registered Professional Engineer for
BFA, Inc. Professional Engineering Corporation #000472

BFA
Engineering-Surveying
103 ELM STREET WASHINGTON, MISSOURI 63080

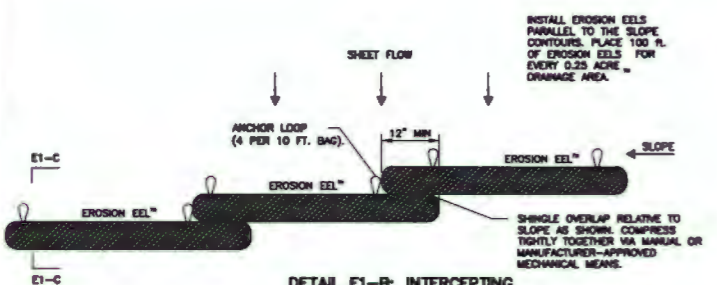
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CURB INLET SEDIMENT TRAP
N.T.S.



DETAIL E1-A: EROSION EELS
N.T.S.



DETAIL E1-B: INTERCEPTING SHEET FLOW PERPENDICULAR TO FLOW PATH
- PLAN VIEW

GENERAL NOTES:

1. MIXTURE SPECIFICATION A FILTER MIXTURE COMPRISED OF 100% SHREDDED RUBBER. THE SHREDDED RUBBER SHALL BE WASHED AND PROCESSED TO REMOVE MOIST. IF NOT ALL METAL COMPONENTS. THE RUBBER SHALL BE DERIVED FROM RECYCLED TIRES AND SHALL BE SHREDDED TO PRODUCE A MAXIMUM PARTICLE SIZE OF +/- 2 INCH.
2. EROSION EELS SHALL BE MANUFACTURED FROM A WOVEN POLYPROPYLENE GEOTEXTILE COVERING THE INTERIOR FILTER MATERIALS OF SHREDDED RUBBER.
3. LENGTHS OF EROSION EELS SHALL BE EITHER A NOMINAL +/-10 FT. OR +/- 4.5 FT. NOMINAL DIAMETER SHALL BE +/-0.5 INCHES.
4. EROSION EELS CAN BE PLACED AT THE TOP, ON THE FACE, OR AT THE TOE OF SLOPES TO INTERCEPT RUNOFF, REDUCE FLOW VELOCITY, RELEASE THE RUNOFF AS SHEET FLOW AND PROVIDE REMOVAL OF SEDIMENT FROM THE RUNOFF.
5. EROSION EELS SHALL BE INSTALLED ALONG THE GROUND CONTOUR, AT THE TOE OF SLOPES, AT AN ANGLE TO THE CONTOUR TO DIRECT FLOW AS A DIVERSION BERM, AROUND INLET STRUCTURES, IN A DITCH AS A CHECK DAM TO HELP REDUCE SUSPENDED SOLIDS LOADING AND RETAIN SEDIMENT, OR AS A GENERAL FILTER FOR ANY DISTURBED SOIL AREA.
6. NO TRENCHING IS REQUIRED FOR INSTALLATION OF EROSION EELS.
7. PREPARE BED FOR EEL INSTALLATION BY REMOVING ANY LARGE DEBRIS INCLUDING ROCKS, SOIL CLODS, AND WOODY VEGETATION. EROSION EELS CAN ALSO BE PLACED OVER PAVED SURFACES INCLUDING CONCRETE AND ASPHALT WITH NO SURFACE PREPARATION REQUIRED.
8. RAKE BED AREA WITH A HAND RAKE OR BY DRAG HARROW.
9. DO NOT PLACE EEL DIRECTLY OVER HILL AND GULLIES UNTIL AREA HAS BEEN HAND-DITCHED AND RAKED TO PROVIDE A LEVEL BEDDING SURFACE. ALL SURFACES SHALL BE UNIFORMLY COMPACTED FOR MAXIMUM SEATING OF EELS IN PLACE.
10. FOR LOCATIONS WHERE EELS WILL BE PLACED IN CONCENTRATED FLOWS (SUCH AS CHECK DAMS, INLET PROTECTION) AND FOR PERIMETER CONTROLS AT PRIMARY DISCHARGE LOCATIONS, BED THE EELS IN A FLOODWAY CRADLE.
11. FOR DITCH APPLICATIONS, THE MAXIMUM DRAINAGE AREA SHALL BE 10 ACRES.
12. IF MORE THAN ONE EROSION EEL IS PLACED IN A ROW, THE EELS SHALL BE OVERLAPPED A MINIMUM OF 12 INCHES TO PREVENT FLOW AND SEDIMENT FROM PASSING THROUGH THE FIELD JOINT. COMPRESS THE TWO EELS OF THE OVERLAP TIGHTLY TOGETHER EITHER BY HAND OR MANUFACTURER-APPROVED MECHANIZED MEANS.
13. REMOVE SEDIMENT AND DEBRIS WHEN ACCUMULATION REACHES SOIL OF THE STORAGE HEIGHT BEHIND THE SINGLE OF STACKED EEL ARRANGEMENT. DISPOSE OF SEDIMENT AND DEBRIS AT AN APPROVED SITE IN A MANNER THAT WILL NOT CONTRIBUTE TO ADDITIONAL SILTATION.
14. WHEN USED IN DITCHES AS A CHECK DAM, EROSION EELS SHALL BE INSTALLED PER MANUFACTURER'S DETAILS.
15. FOR CHECK DAM APPLICATIONS, EROSION EELS SHALL BE PLACED PERPENDICULAR TO THE FLOW OF THE WATER. EROSION EELS SHALL CONTINUE UP THE SLOPE A MINIMUM OF 3 FEET ABOVE THE DESIGN FLOW DEPTH.
16. EROSION EELS SHALL REMAIN IN PLACE UNTIL FULLY ESTABLISHED VEGETATION HAS COMPLETELY DEVELOPED OR UNTIL THE STORAGE CAPACITY/FUNCTIONAL LIFE OF THE EEL HAS BEEN EXHAUSTED (REQUIRING REPLACEMENT WITH NEW EELS).
17. ANCHORING POSTS FOR CHECK DAM APPLICATIONS SHALL HAVE A MINIMUM WEIGHT OF 1.25 LBS/FT STED. T-POSTS (3 TO 7 FT LENGTHS) ROLLED FROM HIGH CARBON STEEL. POSTS SHOULD BE HOT-DIP GALVANIZED OR COATED WITH A WEATHER-RESISTANT PAINT FOR STEEL APPLICATION. POSTS SHOULD BE EQUIPPED WITH A METAL ANCHOR PLATE. INSTALL PER DETAILS ON THIS SHEET.
18. PLACE T-POSTS THROUGH HANDLE OF BAGS. DO NOT DRIVE POSTS THROUGH EROSION EELS. T-POSTS ARE TO BE EMBEDDED A MINIMUM OF 2 FT INTO GROUND.

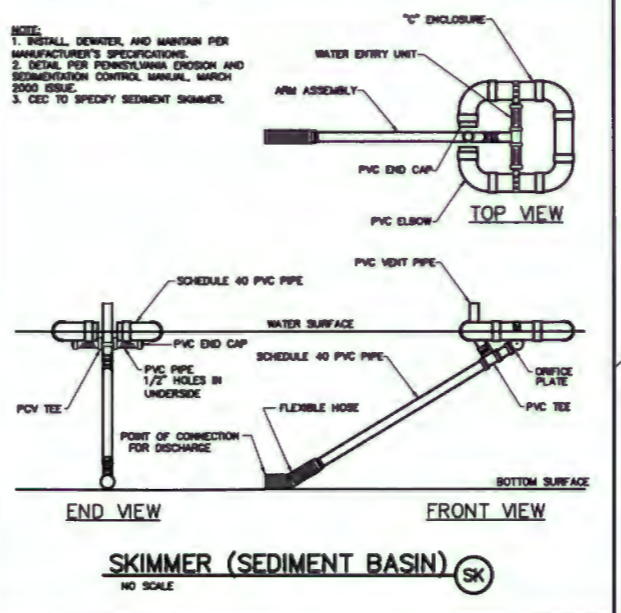
CONTACT INFORMATION
FRIENDLY ENVIRONMENT
100 PRINCE STREET
SHELBYVILLE, TN 37160
1-888-420-4EELS
INFO@FRIENDLYENVIRONMENTUS.COM
http://FRIENDLYENVIRONMENTUS.COM/NOEL.HTML

SPACING RECOMMENDATIONS FOR THE EROSION EEL™ FOR PERIMETER CONTROLS AND INTERCEPTING SHEET FLOW OR SLOPES

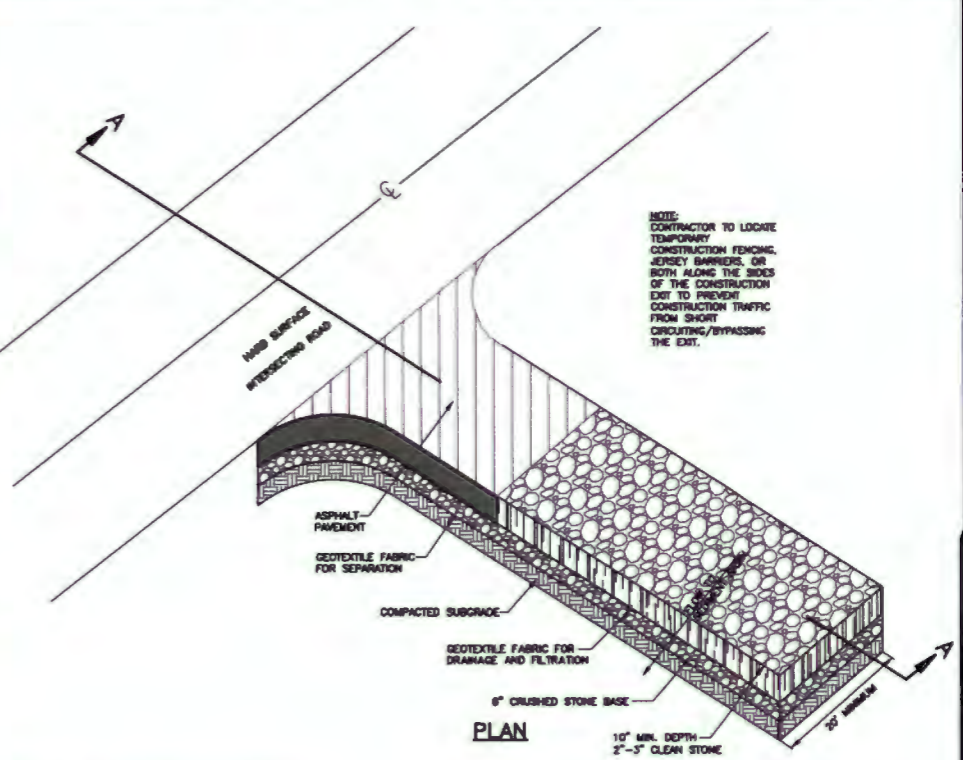
SLOPE(S)	* STACKED DUAL EEL SPACING(F)	
	SINGLE EEL SPACING(F)	DUAL EEL SPACING(F)
0.5	300	N/A
1	200	N/A
2	150	N/A
3	80	N/A
4	50	N/A
5	40	N/A
6	35	N/A
8	30	N/A
10	25	N/A
15	+17	+25
20	+12	+15
25	N/A	+10
33	N/A	+8
50	N/A	+8

* DUAL STACK REFERS TO TWO EELS STACKED ATOP ONE ANOTHER AND STABILIZED WITH T-POSTS.
+ PLACE STAKES BEHIND EELS @ 24" C/C SPACING.

EROSION EELS DETAIL
N.T.S.



SKIMMER (SEDIMENT BASIN)
NO SCALE



CONSTRUCTION EXIT DETAIL
NO SCALE

OFF-SITE MATERIAL AREA(S) INFORMATION

BORROW SITE NAME:	DISPOSAL SITE NAME:
BORROW SITE ADDRESS:	DISPOSAL SITE ADDRESS:
BORROW SITE PERMIT HOLDER:	DISPOSAL SITE PERMIT HOLDER:
BORROW SITE PERMIT No:	DISPOSAL SITE PERMIT No:
BORROW SITE PERMITTING AGENCY:	DISPOSAL SITE PERMITTING AGENCY:

1) CONTRACTOR SHALL FILL IN BORROW AND DISPOSAL INFORMATION ABOVE.
2) BORROW AND DISPOSAL INFORMATION IS NEEDED FOR SOIL FILL AND SPOIL MATERIALS ONLY.
3) CONTRACTOR SHALL STATE "NOT REQUIRED FOR THIS PROJECT" IF ONE OR BOTH ARE NOT REQUIRED FOR PROJECT.

SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

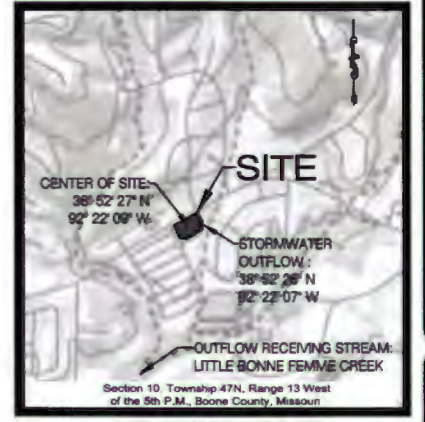
NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE

CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
TEMPORARY CONSTRUCTION EXITS												
TEMPORARY CONTROL MEASURES												
SEDIMENT CONTROL BASINS												
STRIP AND STOCKPILE TOPSOIL												
ROUGH GRADE												
STORM FACILITIES												
SITE CONSTRUCTION												
PERMANENT CONTROL STRUCTURES												
FOUNDATION/BUILDING CONSTRUCTION												
FINISH GRADING												
LANDSCAPING/SEED/FINAL STABILIZATION												

1) CONTRACTOR SHALL UPDATE THE TABLE BY DATING THE APPLICABLE ACTIVITIES AS PROJECT PROGRESSES.
2) THE SCHEDULE MUST COINCIDE WITH SEQUENCE OF CONSTRUCTION.



SITE LOCATION MAP
NOT TO SCALE



USGS QUADRANGLE MAP
NOT TO SCALE

COUNTY REVIEW ONLY

RICK G. ROHLFING, P.E. #2640
Registered Professional Engineer for BFA, Inc. Professional Engineering Corporation #000472

06/24/2020

BFA
Engineering+Surveying

103 OLM STREET WASHINGTON, MISSOURI 63090

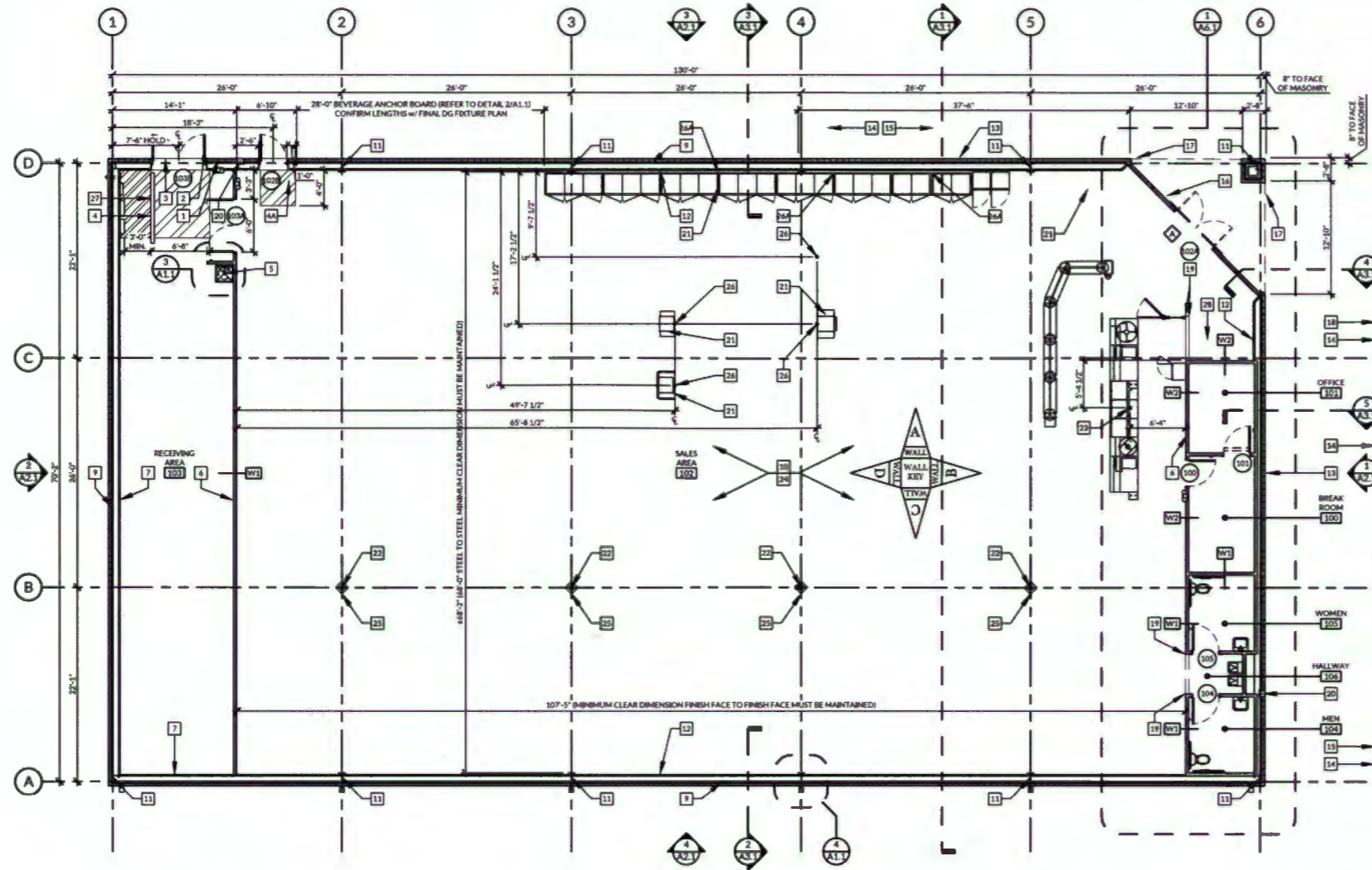
TELEPHONE: (636) 238-4751

REVISIONS

No.	By	App.	Date
1			
2			
3			
4			

DRAWN: J.A.K.
CHECKED: R.G.R.
DATE: 06/24/2020
SCALE: AS NOTED
JOB No.: 6023
SHEET NAME: ESC DETAIL SHEET
ESC-4

DOLLAR GENERAL
New Town Avenue
Columbia,
Boone County, Missouri 65203



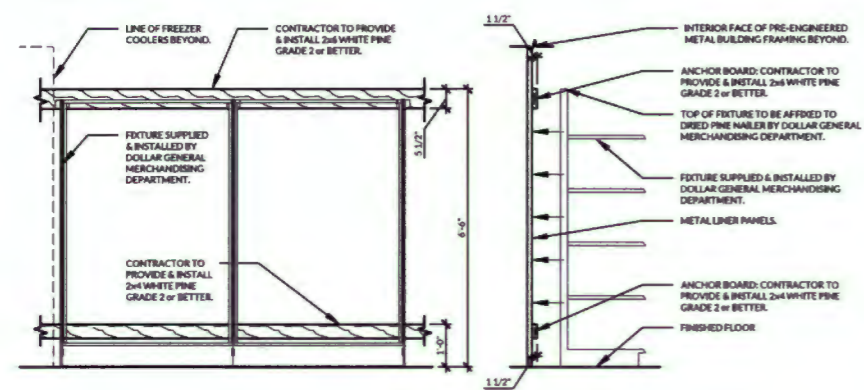
GENERAL NOTES

1. ALL CONSTRUCTION SHALL ABIDE BY ALL LOCAL CODES AND ORDINANCES SET FORTH BY THE LOCAL GOVERNING AUTHORITY.
2. NOTIFY THE ARCHITECT IF QUESTIONABLE OR UNFORESEEN CONDITIONS ARE ENCOUNTERED OR IF CONDITIONS DIFFER FROM WHAT IS SHOWN OR NOTED IN THE PLANS.
3. DO NOT SCALE THE DRAWINGS. CONTACT THE ARCHITECT OF RECORD IF THERE IS A DISCREPANCY IN DIMENSIONS. DIMENSIONAL DATA SHALL BE OBTAINED FROM WRITTEN INFORMATION ONLY. VERIFY ALL DIMENSIONS BEFORE PROCEEDING. ANY DIMENSIONAL DEVIATION FROM THAT SHOWN ON THE DRAWINGS, WHICH MAY AFFECT THE INTENT OF DESIGN OR PROPER INCORPORATION OF ELEMENTS, SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PROMPTLY & RESOLUTION OBTAINED BEFORE PROCEEDING.
4. ARCHITECTURAL DIMENSIONS ARE GIVEN FROM FACE OF STUDS, CONCRETE, MASONRY, OR COLUMN GRID LINES UNLESS NOTED OTHERWISE.
5. EXTERIOR DIMENSIONS ARE GIVEN TO FACE OF WALL, COLUMN GRID LINES, MID POINT OF OPENINGS OR FACE OF STUDS UNLESS NOTED OTHERWISE.
6. MINIMUM SALES AREA CLEAR DIMENSIONS TO BE MAINTAINED. CONCRETE SLAB & PRE-ENGINEERED METAL BUILDING TO BE DESIGNED TO ACCOMMODATE THESE DIMENSIONS.
7. METAL BUILDING COLLUMS SHALL BE STRAIGHT, TAPERED COLLUMS REQUIRE WRITEN APPROVAL FROM DOLLAR GENERAL ARCHITECTURAL & ENGINEERING DEPARTMENT. MAINTAIN INTERIOR CLEARANCE OF 6'-0" BETWEEN FACE OF COLLUMS ON SALES FLOOR.
8. FINISH FLOOR ELEVATION SHALL BE REFERENCED AS 100'-0".
9. PATCH & REPAIR ANY DAMAGE INCURRED DURING CONSTRUCTION.
10. CONTRACTOR RESPONSIBLE FOR TEMPORARY & PERMANENT SHORING & STABILIZATION OF ALL WALLS, FLOORS, & ROOFS.
11. GENERAL CONTRACTOR SHALL COORDINATE ALL MECHANICAL, ELECTRICAL, & PLUMBING WORK, & PROVIDE ALL NECESSARY CONSTRUCTION TO FACILITATE SAID WORK INCLUDING, BUT NOT LIMITED TO ROUGH OPENINGS, EQUIPMENT SUPPORTS, BACKING & COORDINATION OF FINISH WORK, & UTILITY LOCATIONS & CONNECTIONS, WHETHER OR NOT SPECIFICALLY INDICATED ON CONTRACT DOCUMENTS.
12. EXTEND ALL INTERIOR PARTITIONS TO BOTTOM OF DECK OR TO BOTTOM OF STRUCTURAL MEMBERS UNLESS NOTED OTHERWISE. MUST ALLOW FOR 2" DEFLECTION. PROVIDE DEFLECTION TRACK TO UNDERSIDE OF DECK.
13. FOR PARTITION TYPES NOT SHOWN, REFER TO RELATED BUILDING SECTIONS.
14. PROVIDE BLOCKING AS REQUIRED BETWEEN STUDS IN ALL RESTROOMS FOR GRAB BARS, MIRRORS, ACCESSORIES, & ANY OTHER ATTACHMENTS.
15. ALL HEADERS OVER DOORS OR OTHER OPENINGS UP TO 5'-0" WIDE SHALL BE 4" TALL METAL STUD BOX HEAD UNLESS NOTED OTHERWISE.
16. ALL TOILET ROOMS SHALL HAVE WATER RESISTANT GYPSUM BOARD ON ALL PLUMBING WALLS.
17. PROVIDE FIBERGLASS REINFORCED PANEL AT MOP SINK LOCATION TO HEIGHT OF 4'-0". EXTEND 2'-0" MINIMUM HORIZONTALLY PAST FIXTURE.
18. ADDITIONAL REGISTERS MAY BE REQUIRED IF THE ANNUAL SALES PROJECTION EXCEEDS THE PERFORMANCE OF A STANDARD STORE. COORDINATE THE FINAL LOCATION & AMOUNT OF REGISTERS W/ THE FINAL APPROVED FIXTURE PLAN.
19. FOR ALL EXTERIOR SIDEWALKS, H.C. ACCESSIBLE RAMPS, PIPE BOLLARDS, ETC. CIVIL DRAWINGS TO TAKE PRECEDENCE.
20. ALL WOOD BLOCKING, FRAMING, & SHEATHING TO BE FIRE-RETARDANT TREATED.
21. GENERAL CONTRACTOR SHALL PROVIDE A PORTABLE FIRE EXTINGUISHER IN EVERY CONSTRUCTION TRAILER, SHED, OR SHIPPING ON THE PROJECT SITE DURING CONSTRUCTION.

FLOOR PLAN KEYNOTES

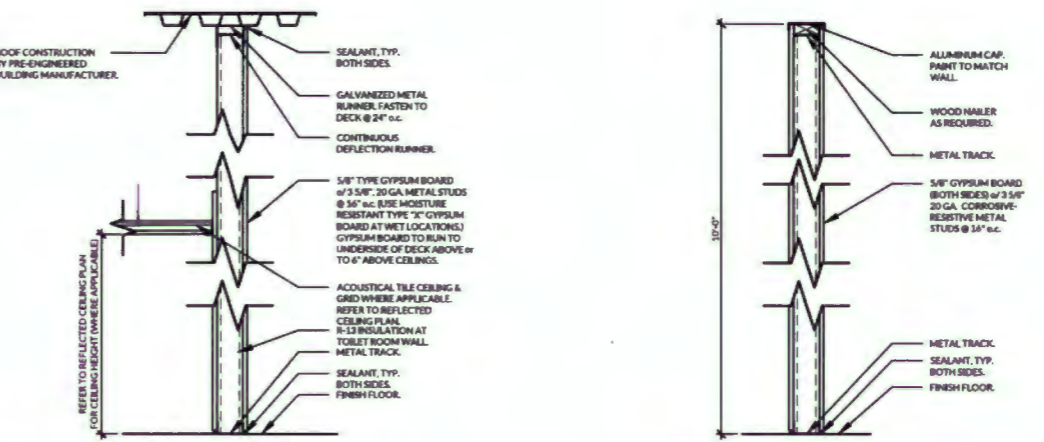
1. RECEIVING DOOR BUZZER - YORK NDL7A725 OR EQUIV.
2. DOOR SCOPE. REFER TO A1.0 & DOOR SCHEDULE.
3. WEATHER STRIP & LOW PROFILE THRESHOLD PROVIDED BY BASS SECURITY. SEE TO A1.0 DOOR SCHEDULE.
4. STRIPE FLOOR FOR DESIGNATED EGRESS PATH (PAINT YELLOW) & 3'-0" DESIGNATED 2x4 PANEL CLEARANCE (PAINT RED).
5. STRIPE FLOOR FOR DESIGNATED EGRESS PATH (PAINT YELLOW).
6. PROVIDE & INSTALL WATER HEATER (MINIMUM 10 GALLON ABOVE THE MOP SINK. REFER TO PLUMBING DRAWINGS FOR ACTUAL SIZE & SPECS).
7. 3x4" METAL STUD W/ 5/8" GYPSUM BOARD BOTH SIDES. REFER TO NOTED WALL SECTION. REFER TO ROOM FINISH SCHEDULE FOR GYPSUM BOARD HEIGHT AT ANY PARTICULAR WALL.
8. METAL LINER PANELS TO 8'-0" A.F.F. BY PRE-ENGINEERED BUILDING MANUFACTURER. NOT USED.
9. PRE-FINISHED SLICK-COATED METAL WALL PANELS. PROVIDE TAMPER-RESISTANT FASTENERS FOR BOTTOM 8'-0". REFER TO EXTERIOR FINISH SCHEDULE FOR COLOR.
10. CONCRETE SLAB W/ 6x6x3/4 WELDED WIRE MESH OVER POLYETHYLENE VAPOR BARRIER (MIN. 10 MIL THICK) OVER CRUSHED STONE BASE. TYPICAL. PROVIDE CONTROL JOINTS AS SHOWN ON STRUCTURAL DRAWINGS.
11. METAL BUILDING FRAME. REFER TO NOTED WALL SECTION & STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
12. 5/8" GYPSUM BOARD (TO 10'-0" A.F.F.) OVER METAL LINER PANELS & INSULATION W/ VAPOR BARRIER.
13. 8" SPLIT-FACED CMU PATCH TO MATCH SIDE WALL PANELS. ALIGN FACE OF BLOCK W/ STEEL GRIT. PROVIDE PROPER ANCHORAGE TO STRUCTURE.
14. SLOPE CONCRETE 1/8" PER FOOT AWAY FROM BUILDING. REFER TO CIVIL DRAWINGS FOR EXACT LAYOUT & DIMENSIONS.
15. BROOM FINISH CONCRETE SIDEWALK, TYPICAL. (NOT SHOWN). COORDINATE W/ CIVIL DRAWINGS FOR EXACT LAYOUT & DIMENSIONS.
16. STOREFRONT SYSTEMS. REFER TO DOOR & WINDOW SCHEDULE & TO NOTED WALL SECTION FOR ADDITIONAL INFORMATION. CONTINUE GYPSUM BOARD ABOVE STOREFRONT TO DECK.
17. LINE OF SOFFIT OR CANOPY ABOVE.
18. APPROXIMATE LOCATION OF ADA COMPLIANT ACCESSIBLE RAMP (NOT SHOWN) W/ YELLOW PAINTED SIDES TO ACCESSIBLE PARKING STALLS. COORDINATE W/ CIVIL DRAWINGS FOR LOCATION, DIMENSIONS, & DETAILS.
19. MC CUE CART & BUMPER GUARD. TOP INSTALLED @ 3'-5" A.F.F. ORDER TRIM KIT FOR THIS PROTOTYPE (PROTOTYPE '13).
20. WALL HYDRANT. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
21. REFRIGERATION BY DOLLAR GENERAL.
22. ROUND PIPE STEEL COLUMN W/ RECESSED BASE PLATE. PAINT SW7005 PURE WHITE. WRAP STEEL COLUMN W/ TIGHT LOOP CARPET BRACK FROM BASE TO 48" A.F.F.
23. POWER POLE. COORDINATE FINAL LOCATION W/ ELECTRICAL DRAWINGS & FINAL DOLLAR GENERAL FIXTURE PLAN.
24. CONTROL JOINTS ARE TO BE PLACED ALONG COLLUMS LINES & MID POINT BETWEEN COLLUMS LINES. COORDINATE W/ STRUCTURAL DRAWINGS. (NOT SHOWN ON ARCHITECTURAL PLANS).
25. FLOOR AREA AT BASE OF COLLUMS, WITHIN THE CONSTRUCTION JOINTS TO BE PAINTED BLACK MARGIC TINT.
26. END CAP COOLER/FREEZER & DISPLAY LIGHTING AS NEEDED TO BE HARDWIRED THROUGH WHITE SO CORE. G.C. TO LEAVE BOTTOM HANGING AT 80" A.F.F. REFER TO ELECTRICAL DRAWINGS. CORD ANCHORED TO PURLINS ABOVE. COORDINATE LOCATION W/ FINAL DOLLAR GENERAL FIXTURE PLAN.
27. WALL OUTLETS FOR BANKS OF COOLERS & FREEZERS & COSMETICS VANALCE. REFER TO ELECTRICAL DRAWINGS.
28. MISC RAILING IN FRONT OF ELECTRICAL PANELS 8'-0" LONG W/ TWO RAILINGS & NO MIDDLE POST.
29. CART AREA.

1 FLOOR PLAN
SCALE: 1/8"=1'-0"



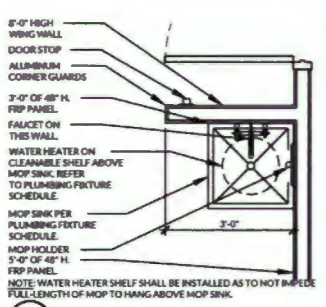
- DRINK FIXTURE WALL MOUNTING SUPPORT NOTES**
1. PROVIDE & INSTALL 2x4 WHITE PINE - GRADE 2 OR BETTER.
 2. PROVIDE & INSTALL 2x4 WHITE PINE - GRADE 2 OR BETTER.
 3. FASTEN THE 2x4 TO THE WALL W/ THE TOP EDGE OF THE BOARD AT 4'-0" A.F.F. REFER TO FIXTURE PLAN FOR LENGTH & LOCATION OF BOARD.
 4. FASTEN THE 2x4 TO THE WALL W/ THE TOP EDGE OF THE BOARD AT 1'-0" A.F.F. REFER TO FIXTURE PLAN FOR LENGTH & LOCATION OF BOARD.
 5. PRE-DRILL PILOT HOLES IN ALL BOARDS PRIOR TO INSTALLATION TO PREVENT WOOD SPLITS.
 6. SECURE THE 2x4 W/ THREE SELF-TAPPING SCREWS PER WALL STUD. MINIMUM SCREW SIZE IS 4" x 1/4".
 7. FASTEN THE 2x4 W/ ONE SELF-TAPPING SCREW PER WALL STUD. MINIMUM SCREW SIZE IS 4" x 1/4".
 8. CAULK THE EDGES OF THE 2x4 AT THE TOP & BOTTOM WHERE IT MEETS THE WALL PRIOR TO PAINTING.
 9. PRIME & PAINT BOTH BOARDS TO MATCH WALL COLOR.
 10. VERIFY LOCATIONS OF ANCHOR BOARD W/ FIXTURE PLAN.

WALL TYPES



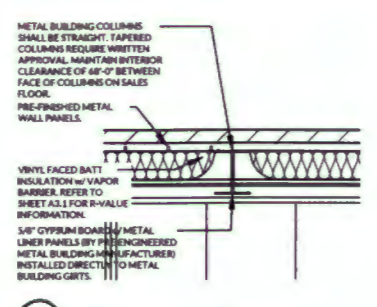
- NOTES**
1. DO NOT FASTEN GYPSUM BOARD WITHIN 2" OF BOTTOM OF SLIP TRACK.
 2. IN PLACE OF CONTINUOUS SLIP TRACK, METAL STUD CONTRACTOR MAY USE "VERTICLIP" BRAND SLIP CONNECTION TO STRUCTURE.
 3. SCREW ANCHORS SHALL NOT EXTEND BEYOND TOP OF DECK ELEVATION.

2 ANCHOR BOARD DETAIL
SCALE: 1/2"=1'-0"



3 ENLARGED MOP SINK PLAN
SCALE: 1/2"=1'-0"

4 DETAIL AT COLUMN
SCALE: 1/2"=1'-0"



TORGERSON DESIGN PARTNERS
ARCHITECTURE / REAL ESTATE / DEVELOPMENT

116 NORTH 2ND AVENUE • OZARK, MO 65721 • P (417) 561-8889 • F (417) 561-9022
ARCHITECTURAL CORPORATION LICENSE NUMBER: 2010013427

DOLLAR GENERAL
STORE #22017 - PROTOTYPE "F"
COLUMBIA, MISSOURI
SOUTHWEST CORNER OF ROUTE K & CENTER STREET
COLUMBIA, BOONE COUNTY, MISSOURI 65203

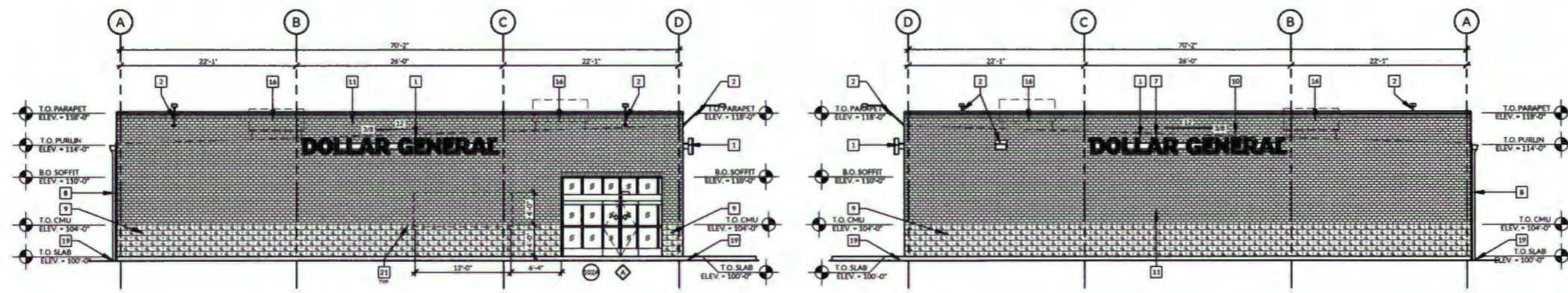
PRELIMINARY
NOT FOR CONSTRUCTION

ARCHITECT OF RECORD:
ADAM J. KREHER
ARCHITECTURAL LICENSE #:
A-2011002764

PROJECT NUMBER:
20079 - DGC/M

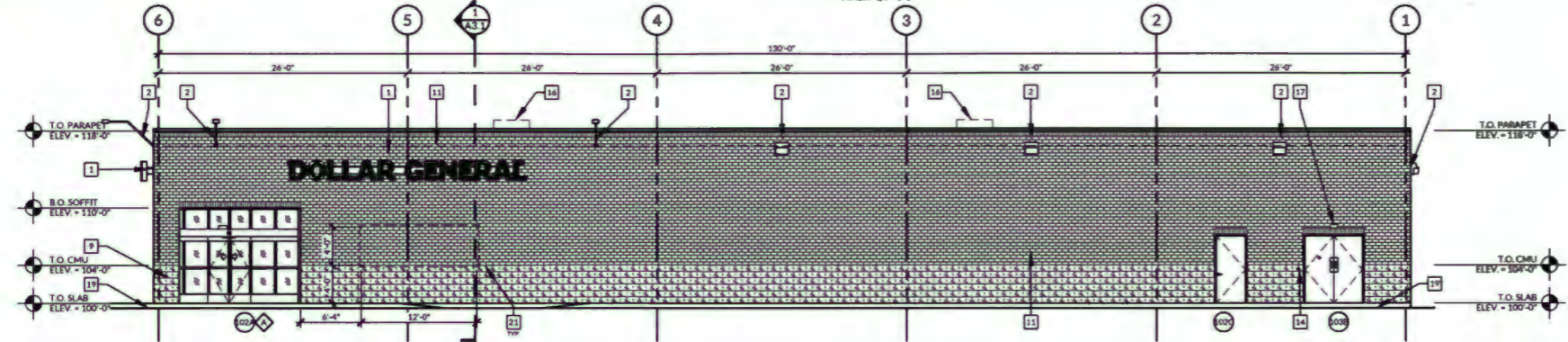
REVISION:

A1.1
FLOOR PLAN
& DETAILS
DATE: JUNE 05, 2020

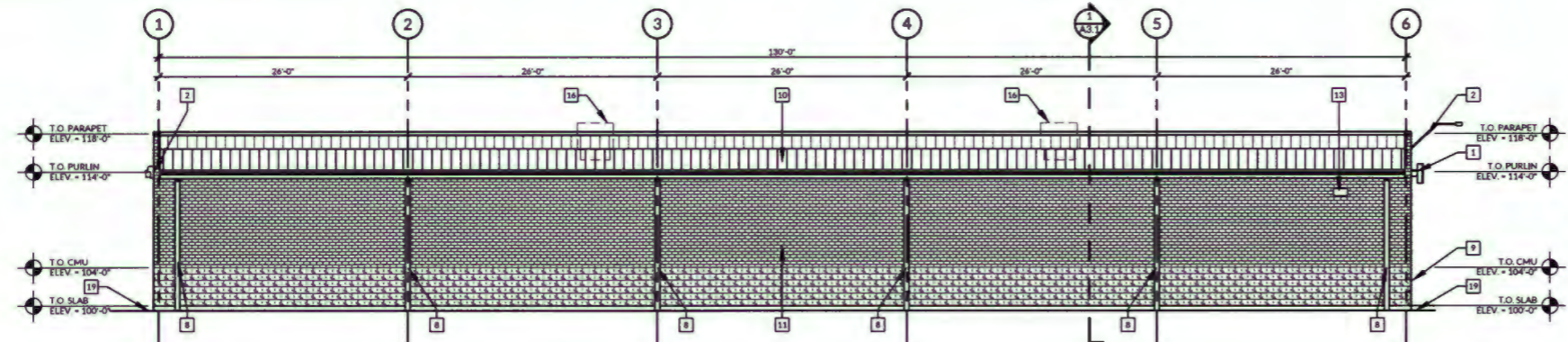


1 EAST ELEVATION
SCALE: 1/8"=1'-0"

2 WEST ELEVATION
SCALE: 1/8"=1'-0"



3 NORTH ELEVATION
SCALE: 1/8"=1'-0"



4 SOUTH ELEVATION
SCALE: 1/8"=1'-0"

- ### ELEVATION KEYNOTES
- 1 SIGN FURNISHED & INSTALLED BY DOLLAR GENERAL CORPORATION w/ CIRCUIT AS NOTED ON ELECTRICAL PLAN. SIGN TO BE CENTERED ON FRONT OF BUILDING. CONTRACTOR IS TO PROVIDE ADEQUATE BLOCKING AS REQUIRED BY SIGN MANUFACTURER TO SUPPORT SIGN WEIGHT OF UP TO 1,400 LBS. COORDINATE THE PROPER SIGNAGE TO BE USED w/ DOLLAR GENERAL.
 - 2 EXTERIOR LIGHTING REFER TO ELECTRICAL DRAWINGS TO VERIFY EXACT QUANTITY, LOCATION, MOUNTING HEIGHT & OTHER SPECIFICATIONS.
 - 3 NOT USED.
 - 4 NOT USED.
 - 5 NOT USED.
 - 6 NOT USED.
 - 7 TRIM. REFER TO EXTERIOR FINISH SCHEDULE FOR COLOR.
 - 8 GUTTER & DOWNSPOUT. REFER TO EXTERIOR FINISH SCHEDULE FOR COLOR.
 - 9 4" SPLIT FACE CONCRETE MASONRY UNIT. COLOR TO BE SELECTED BY OWNER.
 - 10 STANDING SEAM METAL ROOF. REFER TO EXTERIOR FINISH SCHEDULE FOR COLOR.
 - 11 4" SMOOTH w/ VELOUR ECONOMY SIZED BRICK. COLOR TO BE SELECTED BY OWNER.
 - 12 NOT USED.
 - 13 VENT FOR BATHROOM EXHAUST. REFER TO MECHANICAL DRAWINGS FOR EXACT LOCATION & ADDITIONAL INFORMATION.
 - 14 DOOR BUZZER. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - 15 NOT USED.
 - 16 HVAC UNITS MOUNTED ON ROOF. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION & LOCATIONS.
 - 17 OUTSIDE AIR TEMP. SENSOR MOUNTED OVER RECEIVING DOORS @ 8'-0" A.F.F.
 - 18 MINIMUM EAVE HEIGHT IS 14'-0" A.F.F.
 - 19 FINISHED GRADE AT EXTERIOR WALLS SHALL BE A MINIMUM OF 6" BELOW FINISHED FLOOR AT ALL NON-PAVED AREAS.
 - 20 NOT USED.
 - 21 1/2" DIAMETER x 4" LONG STAINLESS STEEL EYE BOLTS (LORETS) w/ 1" DIAMETER OPENINGS. DRILL & EPOXY INTO BLOCK WALL. 4 BOLTS TO BE LOCATED AS SHOWN EACH SIDE OF ENTRY, TOTAL OF 8 BOLTS.

PRE-ENGINEERED METAL BUILDING VENDOR	EXTERIOR FINISH SCHEDULE																												
	VALU BUILDINGS			STAL BUILDINGS SYSTEMS			MILCO BUILDING SYSTEMS			CHIEF BUILDINGS																			
EXTERIOR FINISHES ARE TO MATCH OR BE EQUAL TO VP METAL BUILDING SYSTEMS FINISH SELECTION.	COOL DARK BRONZE	BRONZE	COOL COTTON WHITE	GALVALUME	LIGHTSTONE	MERIDIAN BRONZE, RYMAN 200	BRONZE	POLAR WHITE	GALVALUME	LIGHTSTONE	MERIDIAN BRONZE, RYMAN 200	BRONZE	POLAR WHITE	GALVALUME	SANDSTONE	BURNISHED SLATE	BRONZE	POLAR WHITE	GALVALUME	PARCHMENT	ANTIQUE BRONZE	BRONZE	POLAR WHITE	GALVALUME	SHEWAN WILLIAMS FINISHED BRONZE	SHEWAN WILLIAMS SWYTON "MAD DYKE BROWN"	BRONZE	WRITE BY FINISH MANUFACTURER	GALVALUME
GUTTERS	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•
DOWNSPOUTS	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•
SIDE & REAR METAL WALL PANELS & TRIM, RECEIVING & EMERGENCY EXIT DOORS. (EXTERIOR OF DOORS TO BE PAINTED. REFER TO DOOR SCHEDULE.)	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•
ARCHITECTURAL BLOCK AT BUILDING FACADE TO BE PRE-FINISHED or PAINTED (2 COATS LORON XP MASONRY COATING ADVANCED SERIES) TO MATCH THE SIDE & REAR METAL WALL PANELS.	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•
FLAT METAL SOFFIT AT STOREFRONT VESTIBULE AREA.	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•
BUILDING FASCIA WALL, PARAPET or ENTRANCE.	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•
STOREFRONT SYSTEM.	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•
STANDING SEAM METAL ROOF PANELS.	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•
LINER PANELS (INTERIOR SALES & RECEIVING FLOOR)	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•

TORGERSON
DESIGN PARTNERS
ARCHITECTURE / REAL ESTATE / DEVELOPMENT

116 NORTH 2ND AVENUE - COZAR, MO 65731 - P (417) 561-0889 - F (417) 561-9002
ARCHITECTURAL CORPORATION MISSOURI LICENSE NUMBER: 201001427

DOLLAR GENERAL
STORE #22017 - PROTOTYPE "F"
COLUMBIA, MISSOURI
SOUTHWEST CORNER OF ROUTE K & CENTER STREET
COLUMBIA, BOONE COUNTY, MISSOURI 65203

PRELIMINARY
NOT FOR CONSTRUCTION

ARCHITECT OF RECORD:
ADAM J. KREHER
ARCHITECTURAL LICENSE #: A-2011002764

PROJECT NUMBER:
20079 - DDCM

REVISION:

A2.1
EXTERIOR ELEVATIONS
DATE: JUNE 05, 2020

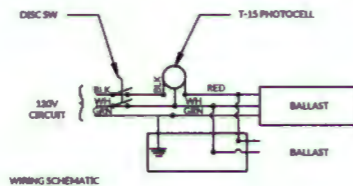
24'-10 7/8"

DOLLAR GENERAL®

E.O. DISC SW & PHOTOCELL

ELECTRICAL REQUIREMENTS:
57 LAMPS & (CC 1320P) BALLASTS
(2) 15A CIRCUITS REQUIRED

AMPS: 23.45
WATTS: 237



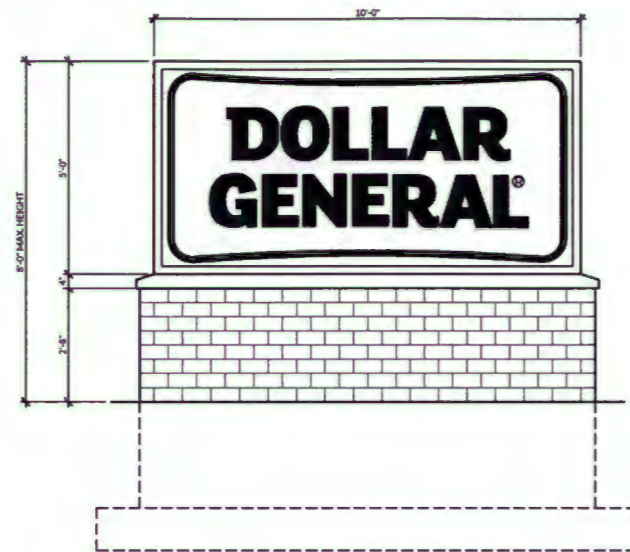
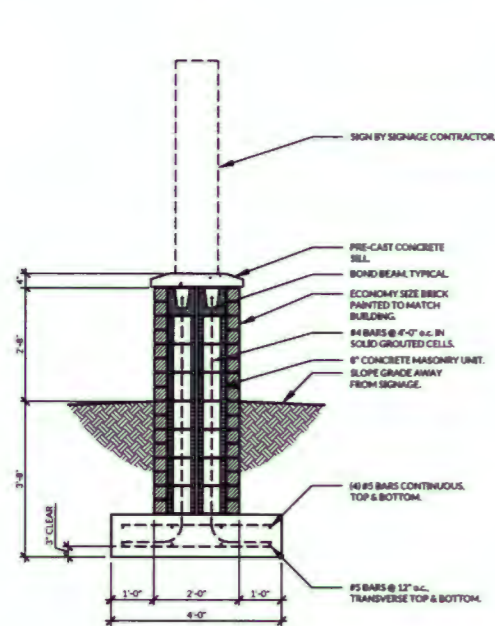
MAIN BUILDING SIGN

DOLLAR GENERAL®

ACTUAL - 28.05 SQ. FT.

DOLLAR GENERAL®

BOXED METHOD - 49.81 SQ. FT.



JOB SITE SIGN
THIS SIGN TO BE PROVIDED & INSTALLED BY THE DEVELOPER or CONTRACTOR AT THE BEGINNING OF THE CONSTRUCTION PROJECT.

SIGN SPECIFICATIONS

- BUILDING SIGNS: PROVIDE CONDUIT & WIRES FROM ELECTRICAL PANEL TO THE SIGN CANOPY. THE CONDUIT IS TO BE 1" & HAVE ONE SET OF 50/2 WIRE w/ GROUND. BUILDING CANOPY MUST BE SUFFICIENTLY BUILT TO SUPPORT THE DOLLAR GENERAL SIGN OF UP TO 3400 LBS. NOTE: IF THE LEASE SPECIFIES A 5'-0" x 49'-0" BUILDING SIGN w/ 24" LETTER SET by LARGES, 2 0211-1502 WIRE w/ GROUND. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- MONUMENT SIGN: PROVIDE CONDUIT FROM ELECTRICAL PANEL TO LOCATION OF THE Pylon SIGN BASE. BURY CONDUIT UNDER PARKING AREA. THE CONDUIT IS TO BE 1" & HAVE ONE SET OF 50/2 WIRE w/ GROUND. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- FINAL ELECTRICAL CONNECTIONS FOR SIGN SHALL BE THE SIGN VENDORS RESPONSIBILITY ONCE THE 7" BOX & WIRES ARE IN PLACE.
- SEE CHART BELOW FOR SIGN SPECIFICATIONS.

BUILDING SIGN				
SIGN SIZE	SIGN WEIGHT	# OF CIRCUITS	AMPS	VOLTAGE
2'-0"	288 LBS.	(2) 15A & (1) 20A	23.45	115
MONUMENT SIGN				
SIGN SIZE	SIGN WEIGHT	# OF CIRCUITS	AMPS	VOLTAGE
5'-0" x 30'-0"	375 LBS.	(2) 15A	3A	115

SIGN NOTES:
1. REFER TO ELECTRICAL PLANS FOR ADDITIONAL INFORMATION. CONTACT THE ARCHITECT IF THERE ARE ANY DISCREPANCIES.

DOLLAR GENERAL

STORE #22017 - PROTOTYPE "F"

COLUMBIA, MISSOURI

SOUTHWEST CORNER OF ROUTE K & CENTER STREET

COLUMBIA, BOONE COUNTY, MISSOURI 65203

PRELIMINARY

NOT FOR CONSTRUCTION

ARCHITECT OF RECORD:
ADRIAN J. KREHER
ARCHITECTURAL LICENSE #: A-2011002764

PROJECT NUMBER:
20079 - DDCM

REVISION:

A7.1

SIGNAGE & SIGNAGE DETAILS

DATE: JUNE 05, 2020

1 SIGNAGE ELEVATIONS

SCALE: 1/8"=1'-0"

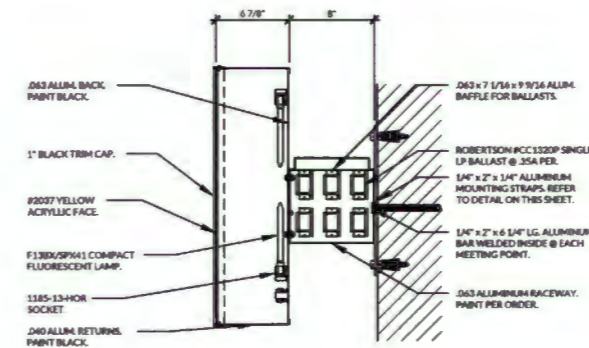
24'-10 7/8"

DOLLAR GENERAL®

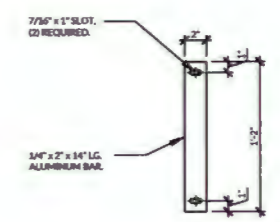
E.O. DISC SW & PHOTOCELL

1/4" x 2" x 14" LG. ALUMINUM BAR

FRONT VIEW



SECTION VIEW



RACEWAY MOUNTING STRAP

2 SIGNAGE BRACING DETAILS

SCALE: 1/8"=1'-0"